

Date Received
TOWN CLERK

By: _____



TOWN OF ACTON
MASSACHUSETTS

Date Received
BOARD OF APPEALS

By: _____

BOARD OF APPEALS
(FORM 4)
PETITION FOR A SPECIAL PERMIT

Sept. 5 2013

I/We hereby petition the Board of Appeals for a public hearing and a special permit under Section 8.1.3 of the Zoning By-Law, as provided by G.L. Chapter 40A, Section 9 to allow:

_____ We seek approval for an exception to the FAR restriction (Acton Bylaws sec 8.1.3) so that we may build a full basement in the new house we plan to build on this property. The existing lot is nonconforming, so the zoning bylaws limit us to the FAR of the existing house. _____

_____ Our new home has been permitted by right, except that we have had to reduce part of the foundation from a full basement to a crawl space in order to reduce the FAR. We seek approval to build a full basement under the entire house rather than just part of it. _____

_____ We have striven to make the new house sensitive to the neighborhood and respectful of the lot's size. The proposed house meets all the setback requirements and is set further from the street and both sides of the property than the existing house. The proposed house's footprint is significantly smaller than the existing house. The approval we seek for the basement will not change the outward appearance of the house in any way. It won't affect the number of bedrooms or bathrooms or people living in the house. _____

OFFICE USE ONLY

four copies of petition? + CO ROM

Location map? _____

Plot plans? _____

Additional briefs? _____

List of abutters and
other interested parties? _____

Fee - \$100.00/1-25 abutters
\$125.00/26+ abutters? _____

Next Hearing Date? _____ No _____

Respectfully submitted

Signed _____

(Petitioner)

Name _____

Address 112 Stow Street, Acton

Phone # 781-698-9272

Signed _____

(Owner of record)

Name _____

Address _____

Phone # _____

A special permit may be granted by the Board of Appeals under specific paragraphs of the Zoning By-Law. In general, the use may be permitted if the special permit will be in harmony with the general provisions and intent of the Zoning By-Law and if all requirements or conditions for the granting of such a permit, as contained in the specific sections of the Zoning By-Law, have been satisfied.

Revised 8/5/88



TOWN OF ACTON

472 Main Street
Acton, Massachusetts 01720
Telephone (978) 929-6631
Fax (978) 929-6340
planning@acton-ma.gov
www.acton-ma.gov

Zoning Enforcement Officer

August 21, 2013

Mr. John Gilbert
c/o Mr. Stephen Mielke
260 Old Harvard Road
Boxborough, MA 01719

Re: **2nd Review** - Proposed Total Demolition of Existing Single Family Residential Dwelling and Construction of New Larger Single Family Residential Dwelling on a Nonconforming Lot
112 Stow Street, Acton, MA 01720

Dear Mr. Mielke,

The Planning Department has reviewed the revised basement plan and accompanying square footage table which you submitted as it pertains to your pending building permit application and CAN NOT approve the building permit at this time. As described in the building permit application and the drawings currently submitted, the pending building permit is seeking approval to “demolish existing home and construct new home”.

As you may or may not be aware of, the subject property is located within an R-2 (Residence 2) zoning district. Property located within this zoning district typically requires a minimum of 150’-0” of lot frontage and a minimum of 20,000 square feet of lot area. Unfortunately, the subject property does not comply with the minimum lot frontage requirement. According to the Engineering Department’s Property Index Cards, the subject property in question currently has only 100’-0” of lot frontage. However, the lot does comply with the minimum lot area requirement. There are multiple pieces of property with similar circumstances located throughout town. These types of properties (112 Stow Street included) are known as and referred to as “Nonconforming Lots”. Section 8 of the Town of Acton’s Zoning Bylaw governs Nonconforming properties. More specifically, the following subsection of the Bylaw is applicable in this instance when beginning the building permit review process:

8.1.3 Replacement of Single- and Two-Family Dwellings on Nonconforming Lots – A STRUCTURE in single family residential USE on a nonconforming LOT may be razed and rebuilt for single family residential USE; and a STRUCTURE in two-family residential USE on a nonconforming LOT may be razed and rebuilt for two-family residential USE; in both cases subject to the following conditions and limitations:

8.1.3.1 The replacement STRUCTURE shall not exceed the FLOOR AREA RATIO on the

LOT of the STRUCTURE that existed on the LOT before it was razed or damaged.

- 8.1.3.2 The replacement STRUCTURE shall meet all minimum yard and maximum height requirements of this Bylaw.*
- 8.1.3.3 In the absence of architectural and plot plans for the existing structure to be razed, the FLOOR AREA RATIO shall be determined by using the information on record at the Town of Acton Assessor's office.*
- 8.1.3.4 Additions to the replacement STRUCTURE may be made after two years following the date of initial occupancy of the replacement STRUCTURE, if otherwise permissible and subject to any permits and special permits that may be required.*

Simply stated, if a structure exists on a non-conforming lot, that structure is permitted to be demolished, but the replacement structure CAN NOT exceed the Net Floor Area of the previous structure prior to its demolition. The footprint of the new dwelling structure is not restricted to having to match the previous dwelling's footprint, but the Net Floor Area's of past and proposed dwelling structures must be the same, if not less. In addition, if approved, once the new structure is completed and a Certificate of Occupancy is issued by the Building Commissioner, a minimum of two years must elapse before any additions or new square footage is permitted to be added to the dwelling structure.

Information obtained from the Town of Acton Property Assessor's Office, indicates that the existing structure currently consists of approximately 2,134 square feet of Gross Floor Area (First Floor – 928 ft², Second Floor (Attic) – 288 ft², Enclosed and Finished Porch – 110 ft², Basement – 808 ft²). In order to permit the tear down of the existing structure, and the construction of a new single family residential dwelling administratively as of right, the overall maximum permitted size of said new proposed dwelling could not exceed a cumulative total of 2,134 square feet. As previously noted, the building permit currently submitted seeks approval to construct a new residential dwelling in excess of 2,134 square foot maximum permitted. Due to the aforementioned information, and as a result, I CAN NOT approve the building permit as currently submitted.

You have revised the original basement plan to clearly delineate a new mechanical room as well as raised the concrete floor slab in a portion of the basement so that the floor-to-ceiling height within this area will be less than 6'-0" (72"). As per the Town of Acton's Zoning Bylaw, both of these areas are permitted reductions to the overall Floor Area Ratio of this particular project. While the revised basement layout does in fact reduce the overall square footage proposed for reconstruction, unfortunately, the revised layout does not bring the proposed new home construction into compliance with the dimensional regulations set forth in Section 8.1.3 of the Zoning Bylaw. Furthermore, the table of square footage calculations provided, which includes bathrooms and stairways being deducted, as well as the basement modifications being accounted for, clearly indicates that the revised building design remains approximately +/- 300 square feet in excess of the maximum permitted amount of square footage allowed to be rebuilt.

Therefore, should you wish to continue to pursue the submitted building permit application, there are two options available to you. The options are as follows and you may select either one:

Option 1 – Section 8.1.5 of the Zoning Bylaw becomes applicable and it states the following:

8.1.5 *In all other cases, the Board of Appeals may, by special permit, allow such reconstruction of, or extension, alteration or change to a single or two-family residential STRUCTURE on a nonconforming LOT, where it determines either that the proposed modification does not increase the nonconformity or, if the proposed modification does increase the nonconformity, it will not be substantially more detrimental to the neighborhood than the existing STRUCTURE on the nonconforming LOT.*

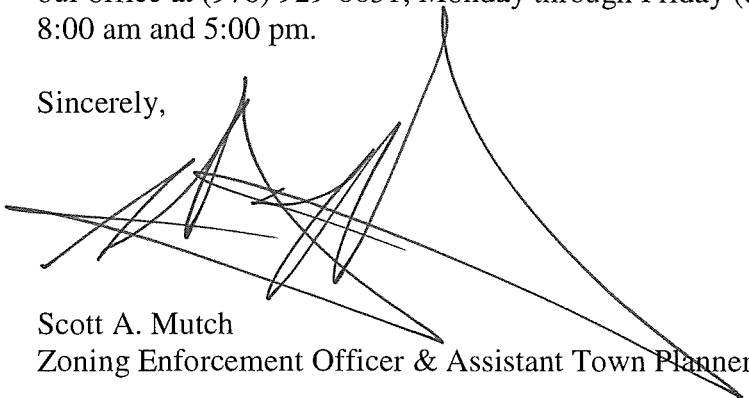
This option presumes that the application submitted to the Zoning Board of Appeals would look identical in nature to the building permit currently submitted to the Town for review. Should the Zoning Board of Appeals approve such a Special Permit for the larger overall footprint and square footage, then you would be permitted to continue to move forward with the building permit application.

Zoning Board of Appeals applications for Special Permits may be obtained by contacting Cheryl Frazier, Secretary for the Zoning Board of Appeals, at (978) 929-6443 or cfrazier@acton-ma.gov during regular business hours.

Option 2 – You may further modify the submitted building permit drawings to reduce the overall size of the proposed structure to comply with the maximum permitted dimensional requirements and then resubmit the plans for further staff review.

If you have any questions, comments or concerns regarding this matter, please feel free to contact our office at (978) 929-6631, Monday through Friday (except for holidays) between the hours of 8:00 am and 5:00 pm.

Sincerely,

A handwritten signature in black ink, appearing to read 'Scott A. Mutch', is written over a series of horizontal lines. The signature is stylized and somewhat abstract, with a large loop at the end.

Scott A. Mutch
Zoning Enforcement Officer & Assistant Town Planner



472 Main Street
Acton, MA 01720
Telephone (978) 929-6621
Fax (978) 929-6340

Brian McMullen
Assistant Assessor

Locus: 112 STOW ST
Parcel: H2-67

Location	Parcel ID	Owner	Co-Owner	Mailing Address	City	ST	Zip
H2-136	117 STOW ST	GOULET RUTH CB	GOULET DAVID A	119 STOW ST	ACTON, MA	01720	
H2-51	119 STOW ST BEHIND	GOULET RUTH CB	GOULET DAVID A	119 STOW STREET	ACTON, MA	01720	
H2-52	111 STOW ST BEHIND	GOULET RUTH CB	GOULET DAVID A	119 STOW STREET	ACTON, MA	01720	
H2-54	119 STOW ST	GOULET RUTH CB	GOULET DAVID A	119 STOW ST	ACTON, MA	01720	
H2-55	111 STOW ST	CLEMENT LUC	CLEMENT ALISON A	111 STOW ST	ACTON, MA	01720	
H2-56	107 STOW ST	O'CALLAGHAN STEPHEN E	MURRAY SARAH L	107 STOW ST	ACTON, MA	01720	
H2-56-1	105 STOW ST	REITSMA DAVID M	REITSMA JENA L	105 STOW ST	ACTON, MA	01720	
H2-57	101 STOW ST	LAGRASSA PETER C	LAGRASSA MICHELLE	101 STOW ST	ACTON, MA	01720	
H2-63	124 STOW ST	ESCHENBRENNER RONALD C	RYLE REBECCA B	122 STOW RD	ACTON, MA	01720	
H2-64	122 STOW ST	ESCHENBRENNER RONALD C	RYLE REBECCA B	122 STOW ST	ACTON, MA	01720	
H2-65	120 STOW ST	SIRONEN DAVID E TRUSTEE	SIRONEN JOYCE W TRUSTEE	120 STOW ST	ACTON, MA	01720	
H2-66	116 STOW ST	HEARN PATRICK + FRANCES TR	STOW STREET REAL EST TRUST	116 STOW ST	ACTON, MA	01720	
H2-68	110 STOW ST	DIESEL WARREN F	VERONICA K	110 STOW STREET	ACTON, MA	01720	
H2-69	108 STOW ST	SEABURG SCOTT H		108 STOW ST	ACTON, MA	01720	
H2-70	106 STOW ST	HANNON MARTHA J		106 STOW ST	ACTON, MA	01720	
H2-71	106 STOW ST	HANNON MARTHA J		106 STOW ST	ACTON, MA	01720	
H2-75	18 ROBBINS ST	BUTLER BRIAN O	BUTLER DARLENE A	18 ROBBINS ST	ACTON, MA	01720	
H2-82	63 LIBERTY ST	ISOGAI KAZUYUKI	ISOGAI NAKO	63 LIBERTY ST	ACTON, MA	01720	
H2-96	67 LIBERTY ST	HIGDON BERNICE M TRUSTEE	MERRITT DAVID TRUSTEE	67 LIBERTY ST	ACTON, MA	01720	

Abutters and owners of land directly opposite on any public or private street or way and abutters to the abutters within three hundred feet of the property line all as they appear on the most recent applicable tax list.

**HEARING NOTICES FOR ALL SPECIAL PERMITS MUST BE SENT TO THE
PLANNING BOARD, TOWN HALL IN THE FOLLOWING TOWNS:**

Boxborough, MA 01729 Maynard, MA 01754 Concord, MA 01742 Littleton, MA 01460
Carlisle, MA 01741 Stow, MA 01775 Westford, MA 01886 Sudbury, MA 01776

Marty Abbott
Marty Abbott
Assessor's Clerk

29-Aug-13

a.k.a. STOW ROAD

100.00'

SET
IRON
ROD

30.0;

48.3,

ZONING OFFSET

2

201.65'

25.7'

EXISTING HOUSE
FOOTPRINT=1,512 SQ.FT.

FOOTPRINT=1,512 SQ.FT.

EXISTING HOUSE
FOOTPRINT=1,512 SQ.FT.

4.2

4.512

2

4.25'

202.58'

$N \overset{\longrightarrow}{12^{\circ}46'02''} W$

LOT 4
20,221 SQ.FT.

S 12°47'51" E

FOUND
STONE BOUND
W/DH

S 77°10'16" W

 $100.10'$

FOUND
STONE BOUND
W/DH

RECORD OWNER:
EVAN GILBERT
112 STOW STREET
ACTON, MA 01720

ASSESSOR'S MAP H2 BLOCK 67
PLAN NO 115 OF 1948

ZONING DISTRICT: R-2
FRONT: 30 FEET
SIDE: 10 FEET
REAR: 10 FEET

GROUNDWATER PROTECTION DISTRICT ZONED 3

I REPORT TO THE BUILDING COMMISSIONER OF THE TOWN OF ACTON THAT THE EXISTING STRUCTURE IS LOCATED ON THE LOT AS SHOWN. THE EXISTING STRUCTURE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE PER FIRM MAP25017C0354E DATED JUNE 4, 2010.



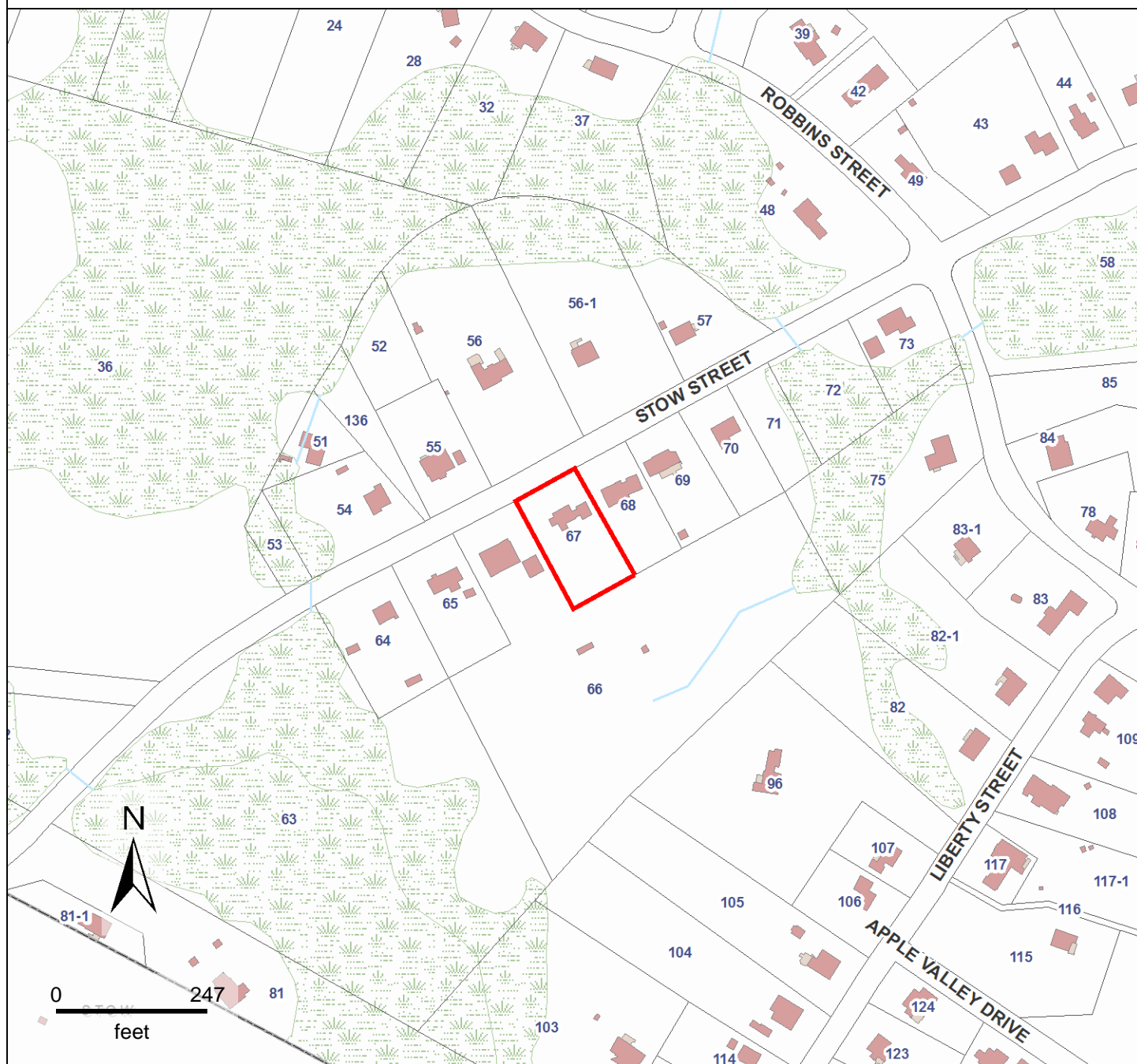
Acton Survey & Engineering, Inc.
Since 1967

97 GREAT ROAD
P.O. BOX 666
ACTON, MA 01720
PH. (978) 263-3666
FAX (978) 635-0218

FILE#6988G195

CARLSONPROJECTS/6988G195.DWG

Location Map

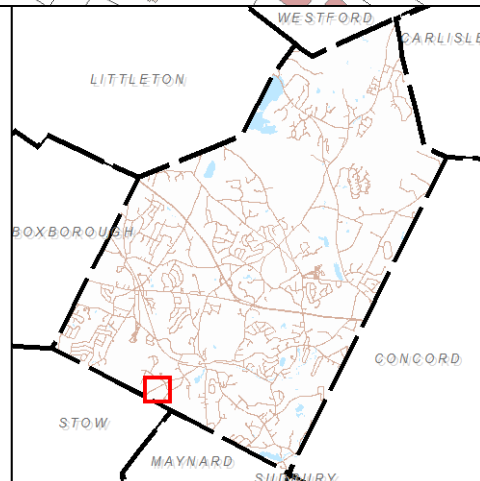
**Property Information**















Property ID H2-67
Location 112 STOW ST



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

This data set/map is for planning purposes only and should not be used for larger scale analysis. The Town of Acton shall not be held liable for any use of the data or images shown on this map, nor is any warranty of accuracy expressed. All uses of this data set/map are subject to field verification.



- STRUCTURES
-  BUILDING
 -  DECK
 -  FOUNDATION
 -  FUEL TANK
 -  MOBILE
 -  PORCH
 -  RUINS
 -  SMOKESTACK
 -  WATERTANK
-  PARCELS
- DEP WETLANDS
-  WET AREAS
 -  PONDS
-  DEP RIVERS & STREAMS
-  TOWN BOUNDARIES

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GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

DAVID WHITNEY

ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

REVISED SET
8.9.13

GENERAL NOTES

1. VERIFY CONDITIONS: CONTRACTOR TO CONFIRM EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY CONDITIONS DO NOT AGREE WITH DRAWINGS. DO NOT SCALE OFF DRAWINGS. CONTACT ARCHITECT FOR CLARIFICATION IF REQUIRED.
2. UTILITIES: CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UTILITIES AT GRADE, ABOVE GRADE, AND UNDERGROUND, INCLUDING UTILITY PIPES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES WITH UTILITY COMPANIES. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED BY AND REPLACEMENT OF ANY DAMAGE TO UTILITIES ON THE SITE. THE CONTRACTOR SHALL CONTACT MASSACHUSETTS "DIG SAFE" AT 1-800-322-4844 TO FIELD LOCATE ALL UTILITIES PRIOR TO STARTING WORK.
3. PROTECT SITE: PROTECT ALL EXISTING TREES & SHRUBS ON THE SITE DURING CONSTRUCTION. DO NOT DRIVE OR STOCKPILE MATERIALS WITHIN THE DRIP LINE OF EXISTING TREES.
4. REPAIR SITE: GRADE AND SEED SITE UPON COMPLETION. RESTORE ALL DISTURBED AREAS.
5. CODES: ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING BUT NOT LIMITED TO BUILDING, USE OF MATERIALS, DISPOSAL OF MATERIALS, AND SAFETY APPLY TO ALL ASPECTS OF THIS PROJECT. CONTRACTOR TO CARRY PERMITS IN BASE BID.
6. PERMIT: CARRY PERMIT IN BASE BID.
7. HEAT & AIR CONDITIONING: DESIGN/BUILD. 2 ZONES: FIRST FLOOR AND SECOND FLOOR. PROVIDE 7 DAY PROGRAMMABLE THERMOSTATS. LAYOUT DRAWING SUBMITTAL REQUIRED FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. PROVIDE POURED CONCRETE PAD FOR AC EQUIPMENT ON SITE - LOCATE WITH ARCHITECT AND OWNER IN FIELD. CONCEAL AC LINES WITHIN WALLS; DON'T LEAVE EXPOSED ON EXTERIOR OF HOUSE.

STRUCTURAL NOTES

GENERAL

ALL STRUCTURAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE.

FOUNDATION

1. PROVIDE MINIMUM 4'-0" FROST COVER FOR FOOTINGS.
2. ALLOWABLE SOIL BEARING ASSUMED TO BE 2,000 PSF. THIS IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER PRIOR TO POURING FOOTINGS.

CONCRETE

1. CONCRETE 28 DAYS COMPRESSIVE STRENGTH TO BE 3,000 PSI MINIMUM.
2. CONCRETE STEEL REINFORCING TO BE ASTM A615 GRADE 60. WELDED WIRE MESH TO BE ASTM A185 WITH ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
3. OVERLAP STEEL BARS BY 2'-0" MINIMUM WHEN SPLICING. RETURN BARS BY 1'-0" MINIMUM AROUND CORNERS.
4. PROVIDE 3" COVER FOR REINFORCING FROM THE BOTTOM OF FOOTINGS AND 1 1/2" COVER FOR REINFORCING FROM THE FACE OF WALLS.

WOOD CONSTRUCTION

1. TIMBER TO BE SPF NO. 2 OR BETTER.
2. PROVIDE SIMPSON JOIST HANGERS WHERE JOISTS ARE SUPPORTED BY BEAMS.
3. UNLESS OTHERWISE NOTED, PROVIDE SIMPSON CONNECTORS AT COLUMN/BEAM AND BEAM/BEAM CONNECTIONS. DETAILS TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. MAXIMUM MOISTURE CONTENT TO BE 19%.

LEGEND

① DOOR MARK - SEE DOOR SCHEDULE

Ⓐ WINDOW MARK - SEE WINDOW SCHEDULE

⌈ A ⌋ WALL ASSEMBLY - SEE DETAILS

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

Notes & Legends

SCALE: DATE:
AS NOTED 5.21.13
DRAWN BY: FILE:
DWW PLANS

SHEET

A0.1

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

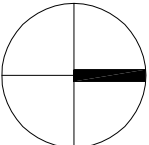
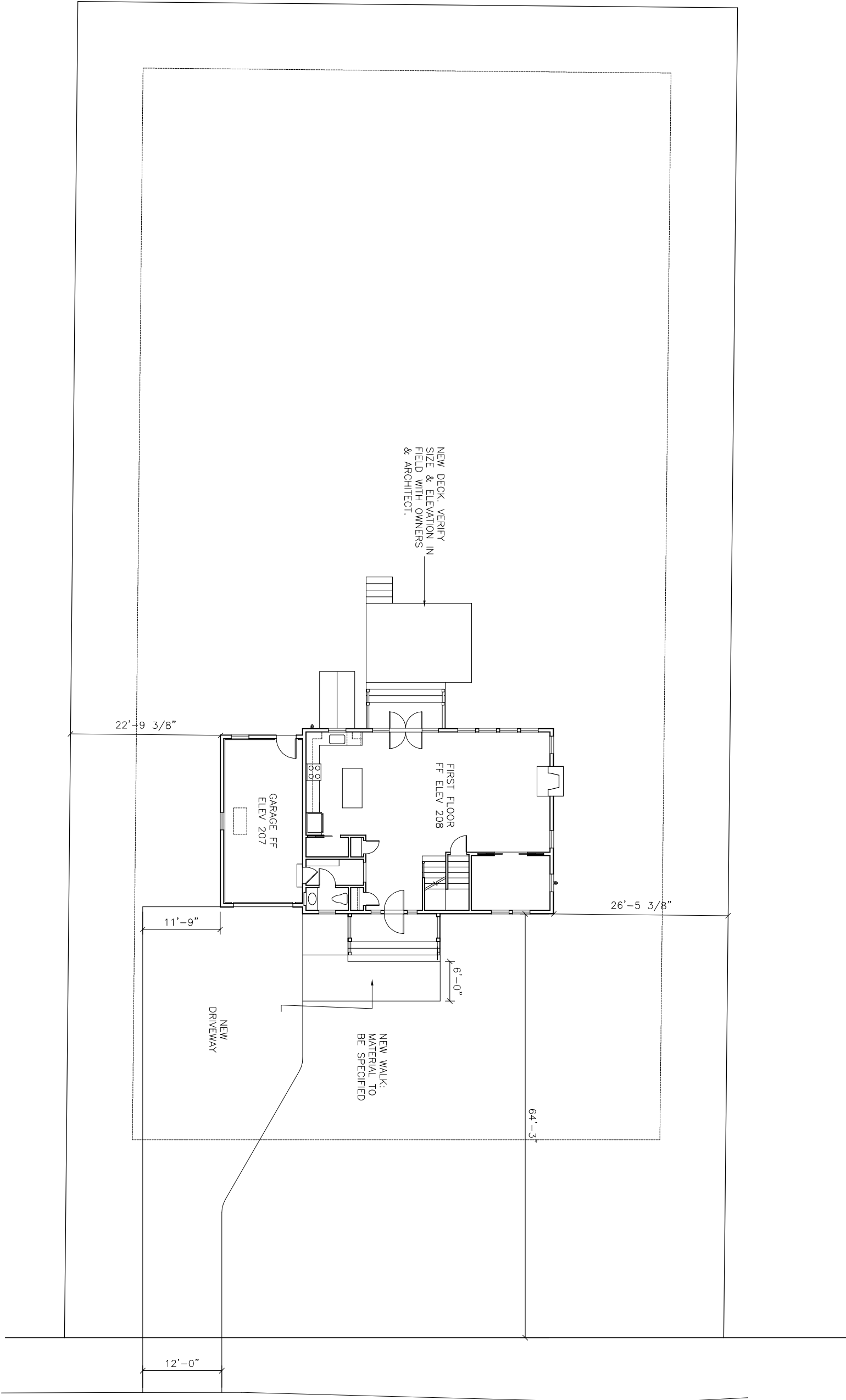
Site Plan

SCALE: DATE:
1/16" = 1'-0" 6.4.13

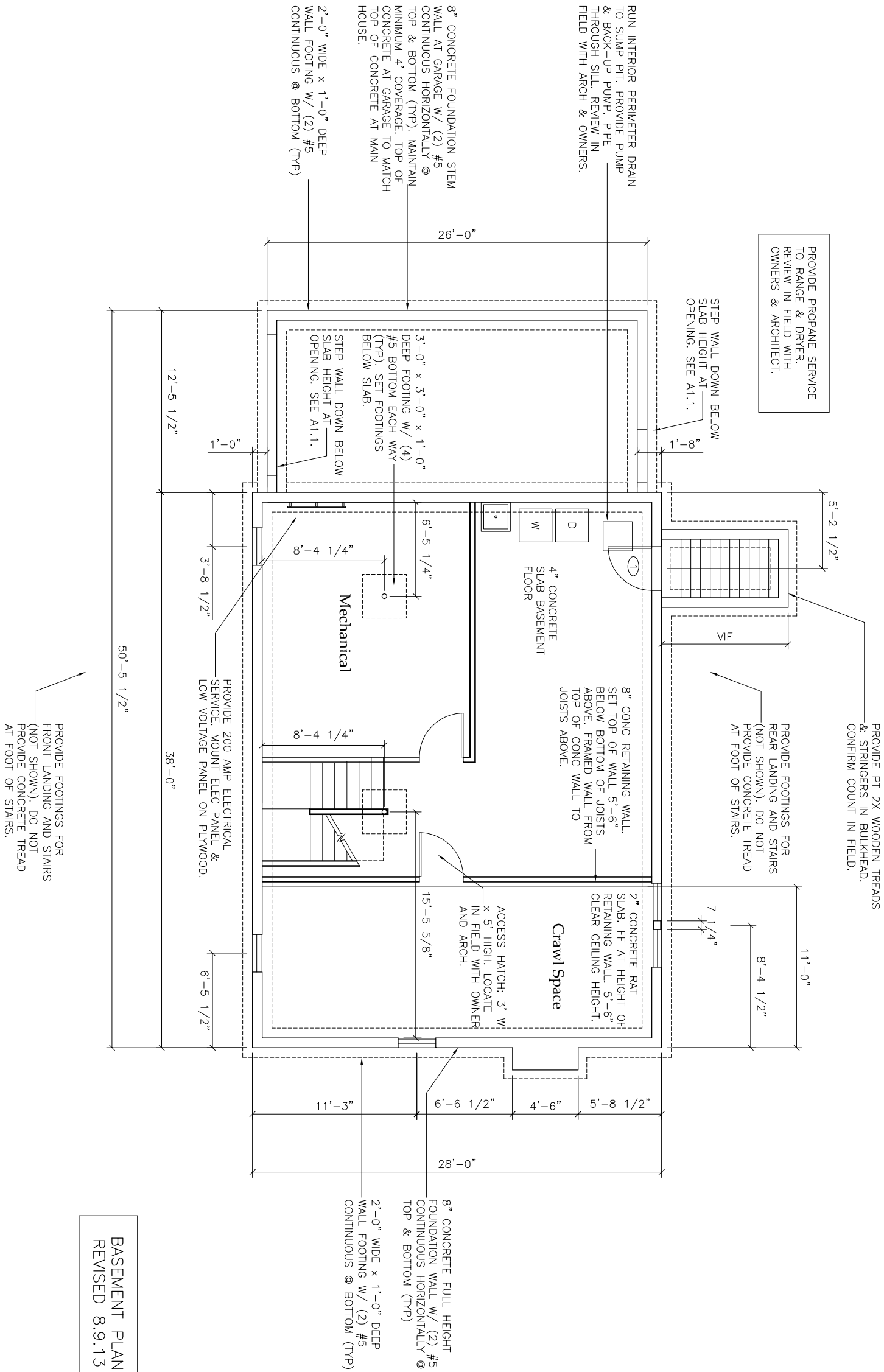
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DWW PLANS

SHEET

A0.2



ALL DIMENSIONS TO FRAMING
UNLESS OTHERWISE NOTED



BASEMENT PLAN
REVISED 8.9.13

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

TITLE:

Basement Plan

SCALE: 1/8" = 1'-0"

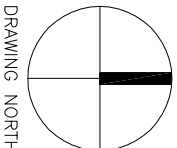
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DRAWN BY: DWW

FILE: PLANS

SHEET

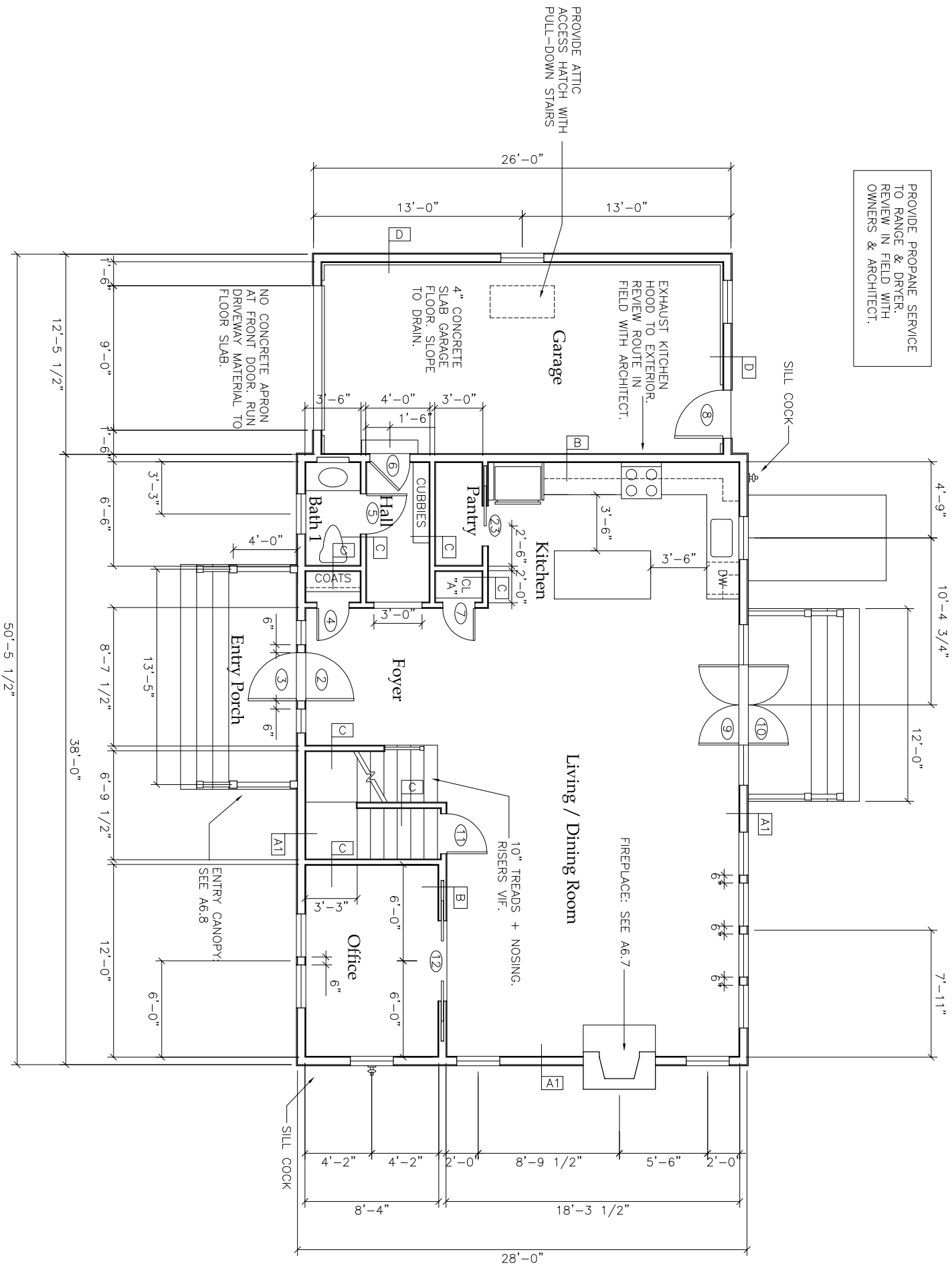
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DRAWING NORTH

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UNLESS OTHERWISE NOTED



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/81 643 0759

GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

TITLE:

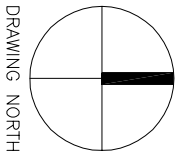
First Floor Plan

SCALE: 1/8" = 1'-0"
DATE: 5.21.13

DRAWN BY: DWW
FILE: PLANS

SHEET

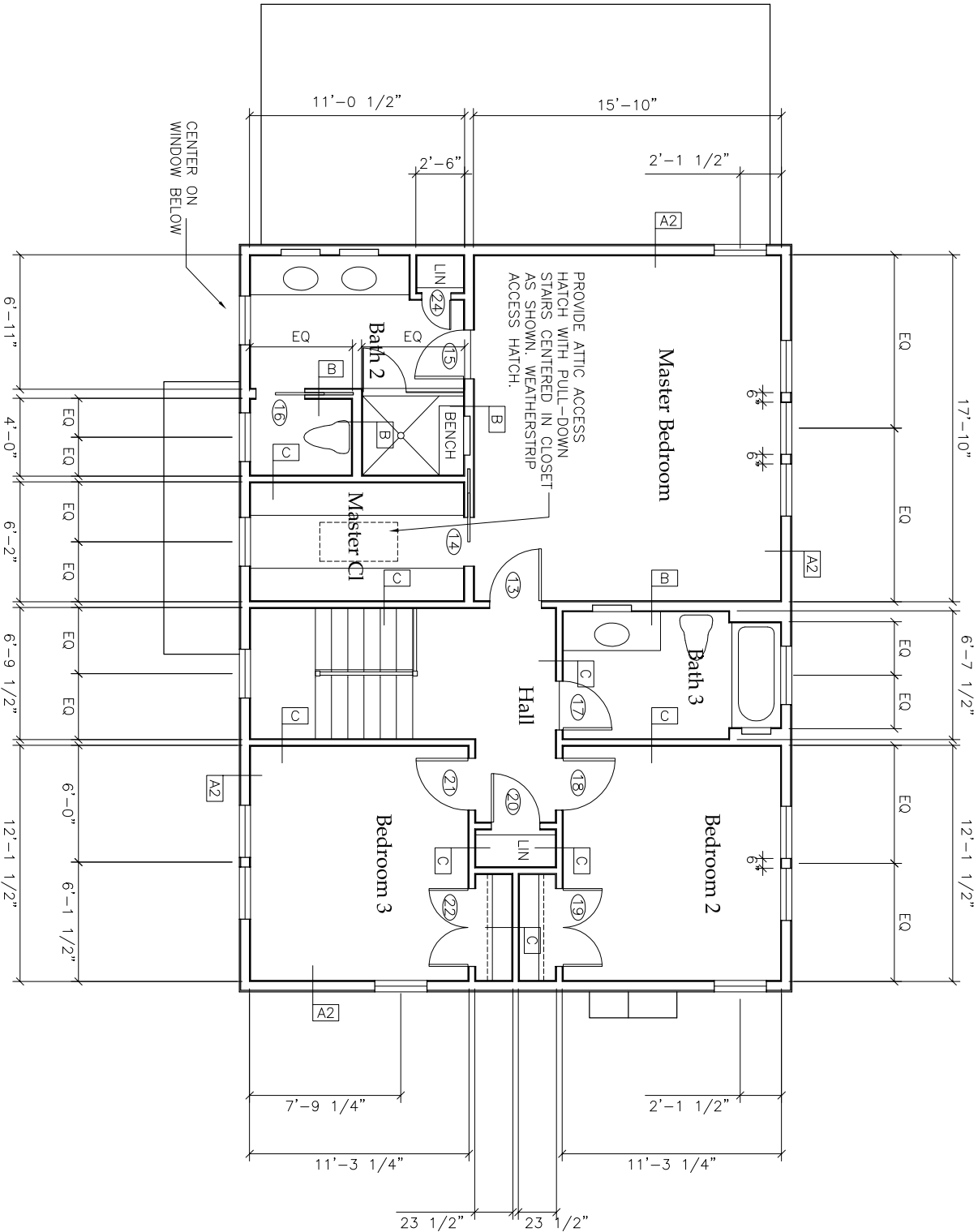
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ARCHITECT
49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

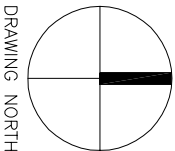
Second Floor Plan

SCALE: 1/8" = 1'-0"
DATE: 5.21.13

DRAWN BY: DWW
FILE: PLANS

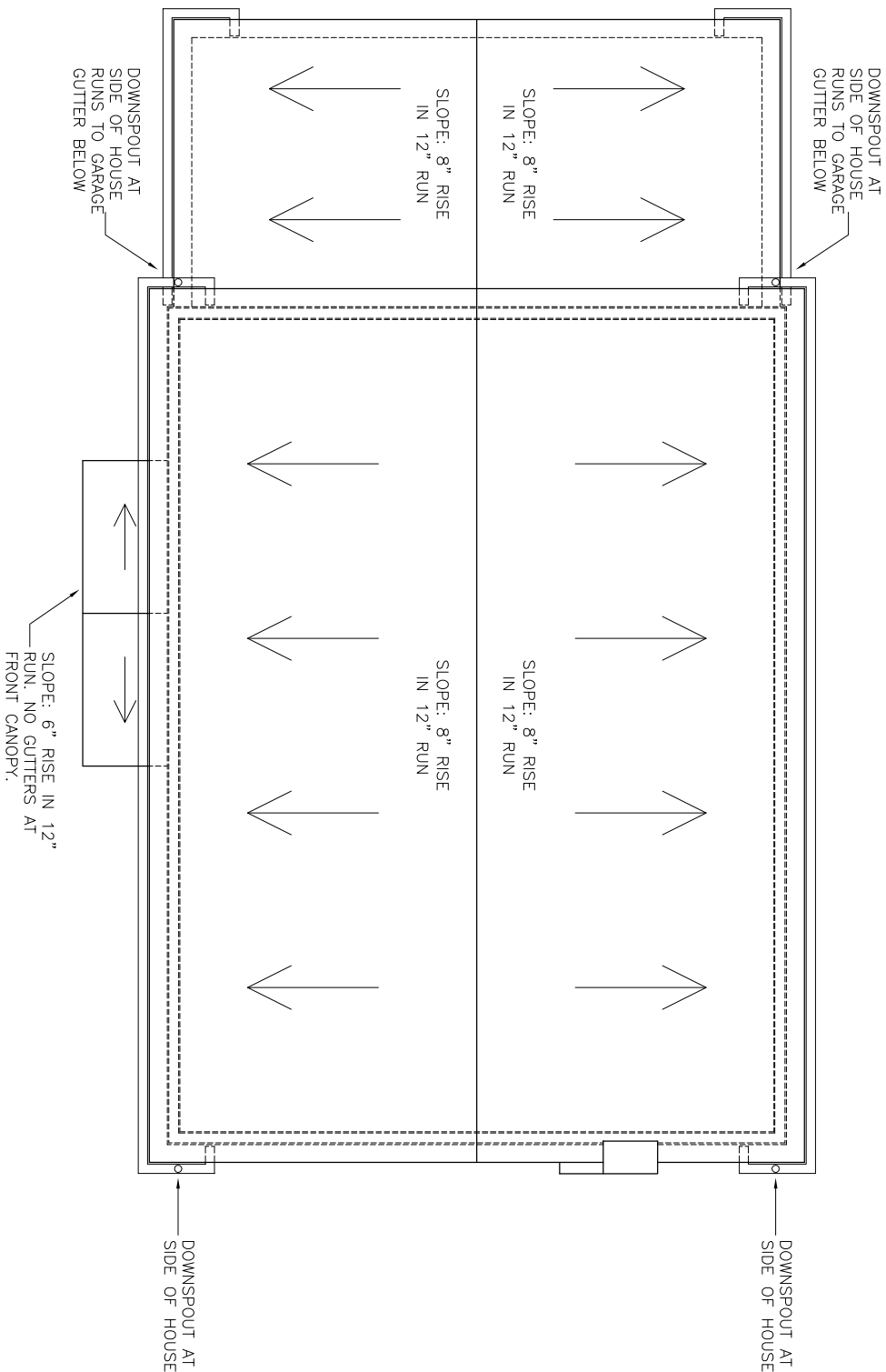
SHEET

A1.2



Roof Notes

1. ROOF: ARCHITECTURAL 30 YEAR ASPHALT SHINGLE BY GAF OR APPROVED EQUAL. COLOR TO BE SPECIFIED.
2. UNDERLAYMENT: PROVIDE GRACE ICE & WATER SHIELD UNDER ASPHALT SHINGLES OVER ENTIRE ROOFS, NOT JUST EAVES & VALLEYS.
3. VENTS: NO RIDGE VENTS, NO EAVE VENTS. COLLECT PLUMBING VENTS IN ATTIC TO MINIMIZE ROOF PENETRATIONS. LOCATE IN FIELD WITH ARCHITECT.
4. ATTIC: PROVIDE 3/4" PLYWOOD SUBFLOOR IN ENTIRE ATTIC. NOT JUST AN AREA UNDER RIDGES, FOR STORAGE.
5. PROVIDE K-STYLE ALUMINUM GUTTERS & UNFLUTED ROUND DOWNSPOUTS. REVIEW IN FIELD WITH ARCHITECT. RUN BELOW GRADE IN PVC BOOTS. COLLECT IN DRYWELL - LOCATE ON SITE WITH ARCHITECT & OWNERS.



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE
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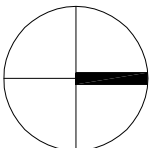
TITLE:

Roof Plan

SCALE: DATE:
1/8" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

SHEET



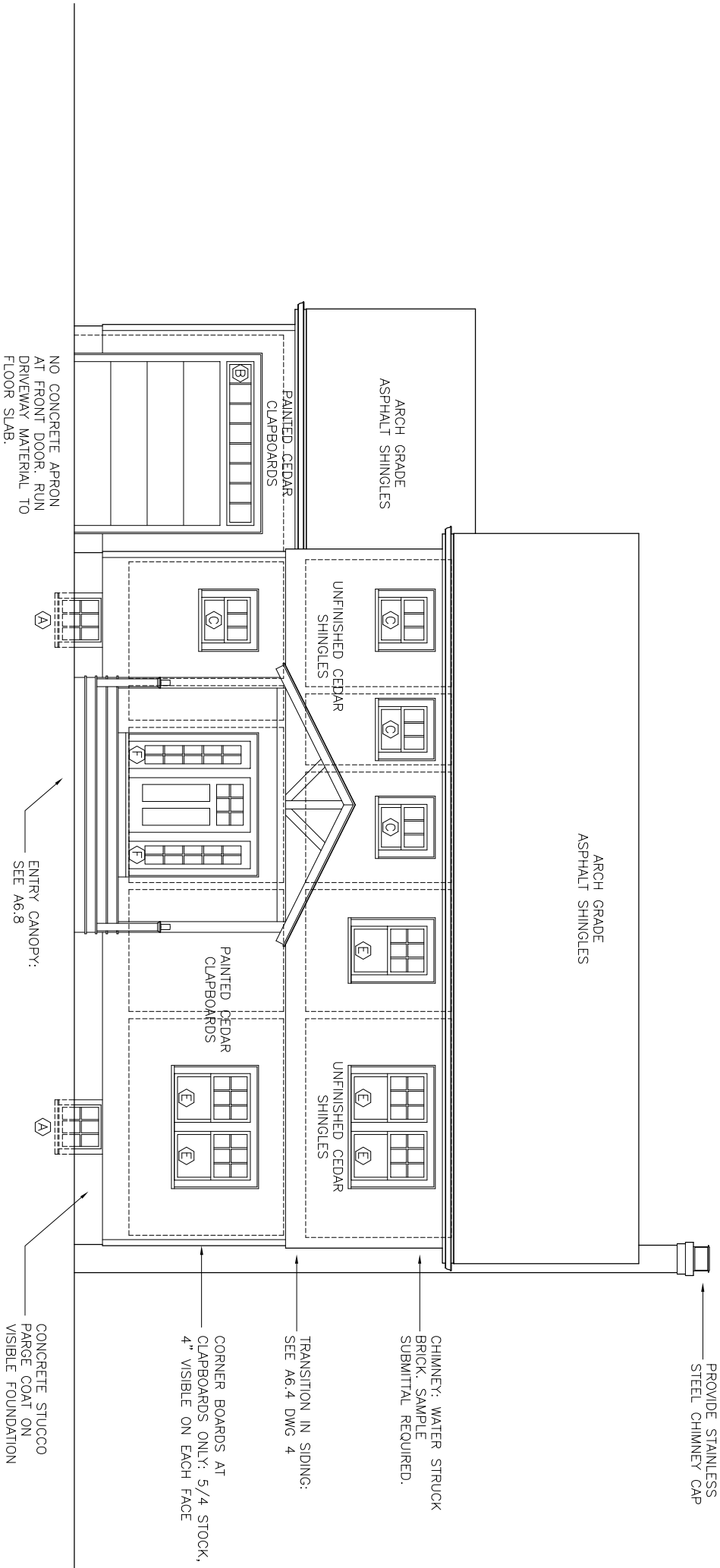
DRAWING NORTH

A1.3

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SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

TITLE:

South Elevation

SCALE: 1/8" = 1'-0"

DATE: 5.21.13

DRAWN BY: DWW

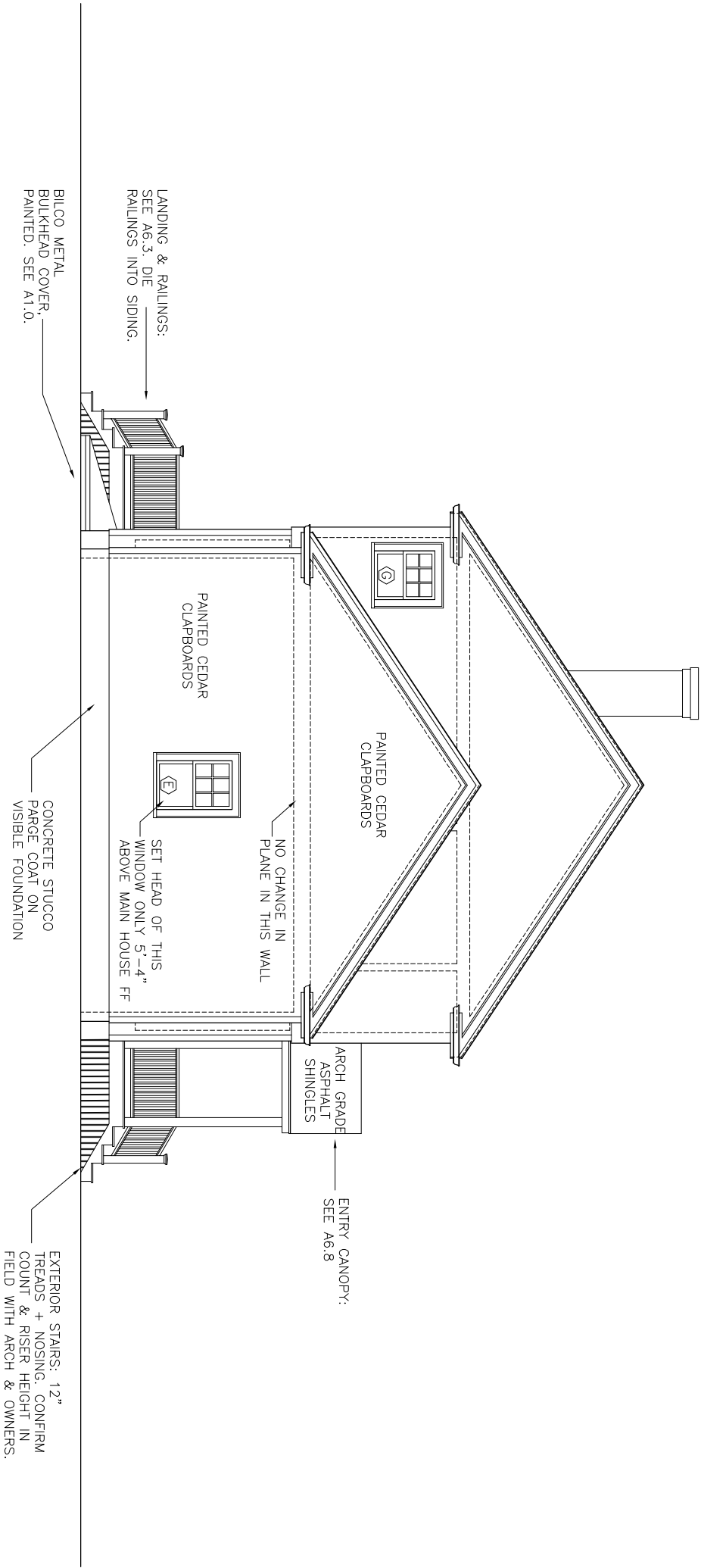
FILE: PLANS

SHEET

A2.1

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:
West Elevation

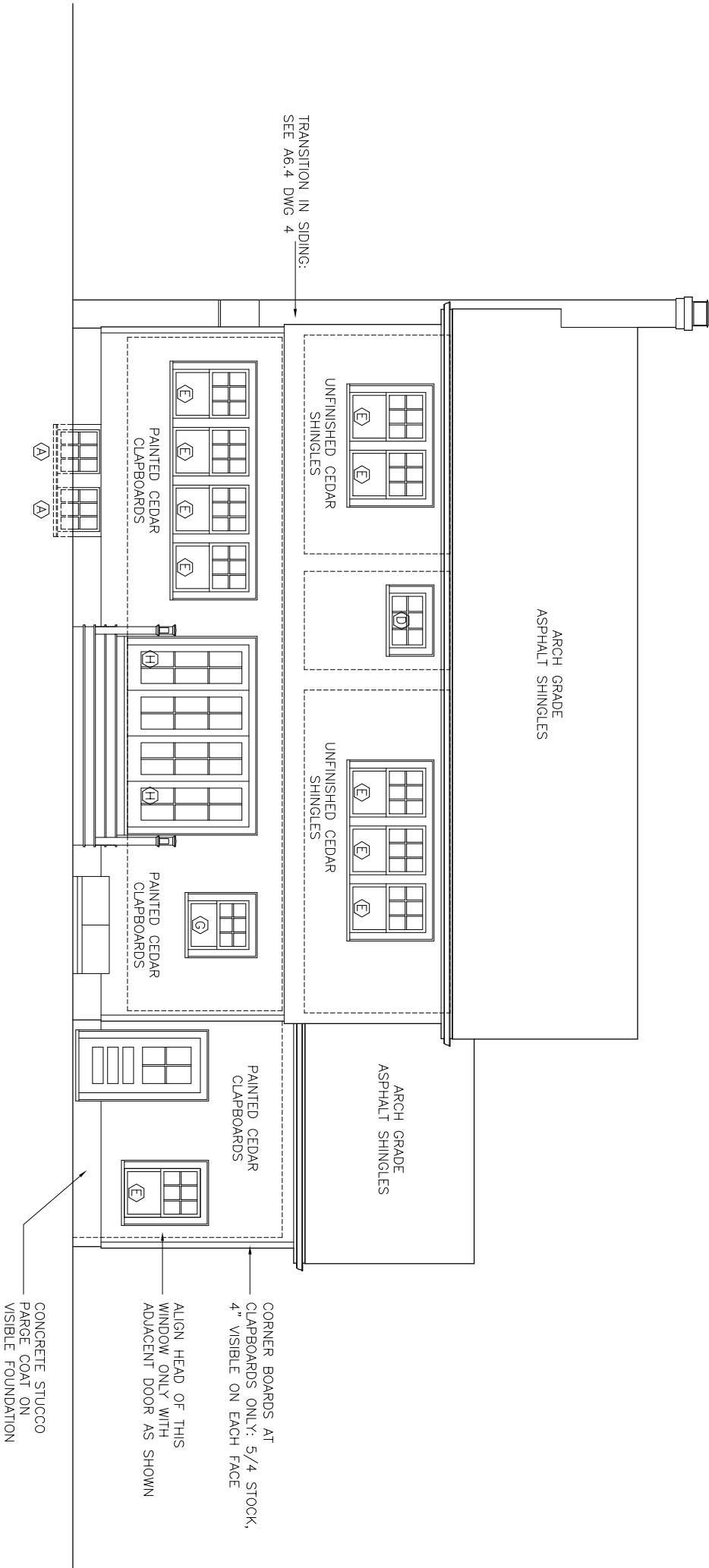
SCALE: 1/8" = 1'-0" DATE: 5.21.13
DRAWN BY: DWW FILE: PLANS

SHEET

A2.2

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

North Elevation

SCALE: 1/8" = 1'-0" DATE: 5.21.13

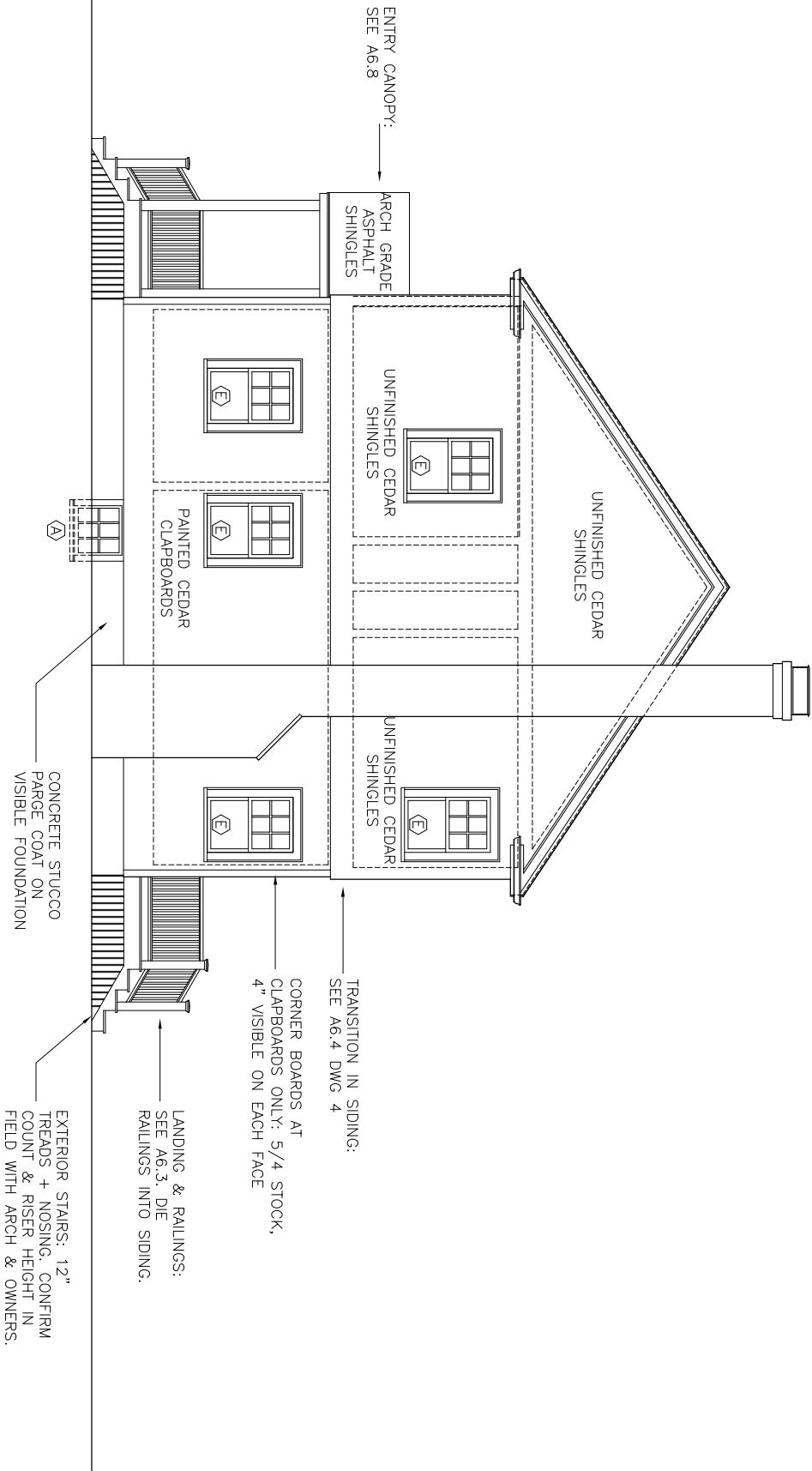
DRAWN BY: DWW FILE: PLANS

SHEET

A2.3

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

SEE ROOF PLAN FOR
GUTTERS AND DOWNSPOUTS.
NOT SHOWN IN ELEVATION.



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

TITLE:

East Elevation

SCALE: DATE:
1/8" = 1'-0" 5.21.13
DRAWN BY: FILE:
DWW PLANS

SHEET

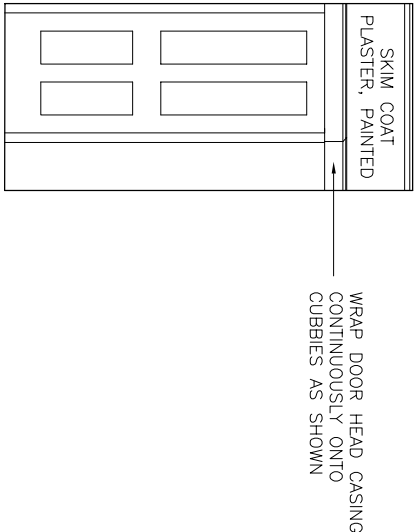
A2.4

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:	
Interior Elevations	
First Fl Hall	
SCALE:	DATE:
1/4" = 1'-0"	5.21.13
DRAWN BY:	FILE:
DWW	PLANS

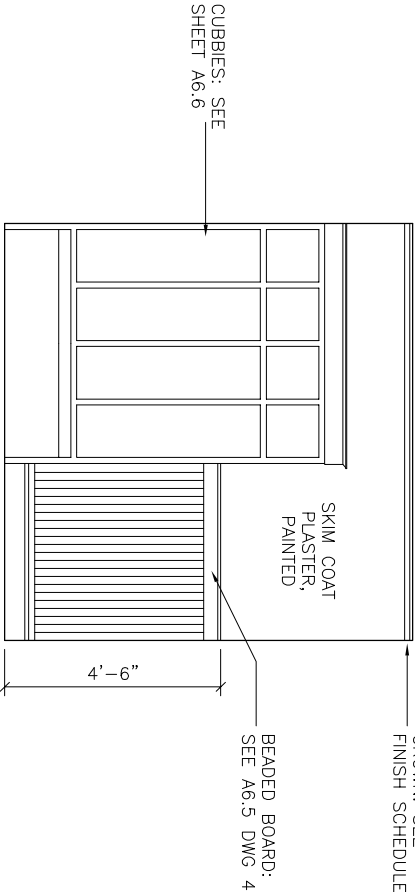
SHEET

A4.11



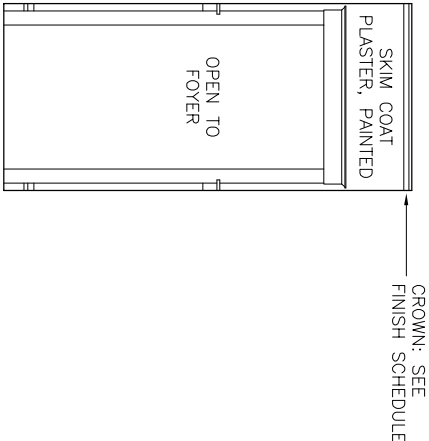
1 First Floor Hall - West

SCALE: 1/4" = 1'-0"



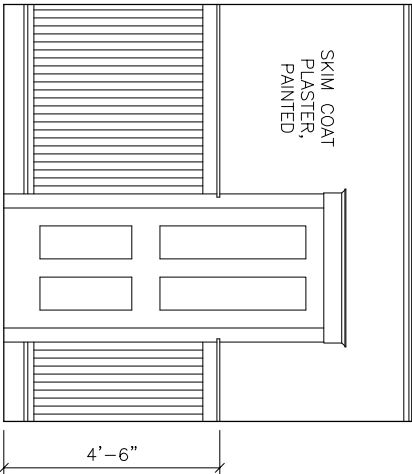
2 First Floor Hall - North

SCALE: 1/4" = 1'-0"



3 First Floor Hall - East

SCALE: 1/4" = 1'-0"



4 First Floor Hall - South

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

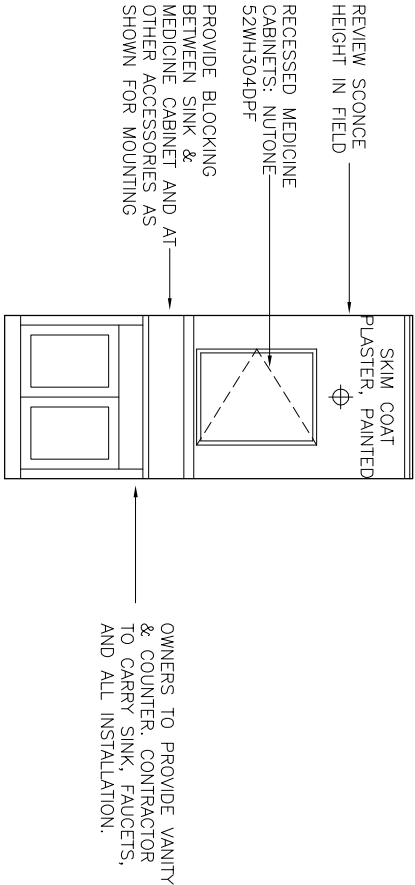
Interior Elevations
Bath 1

SCALE: DATE:
1/4" = 1'-0" 5.21.13

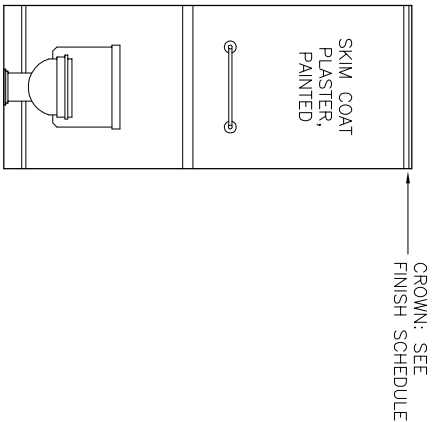
DRAWN BY: FILE:
DWV PLANS

SHEET

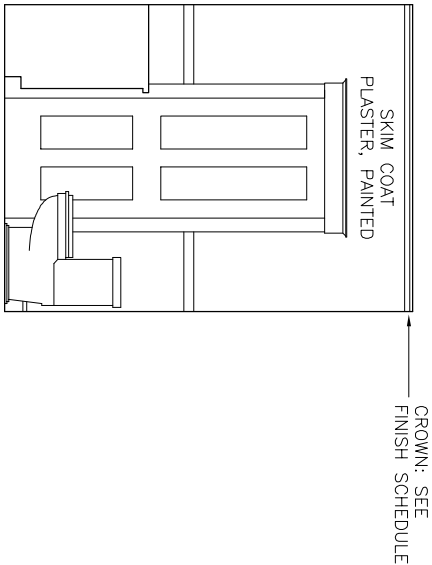
A4.12



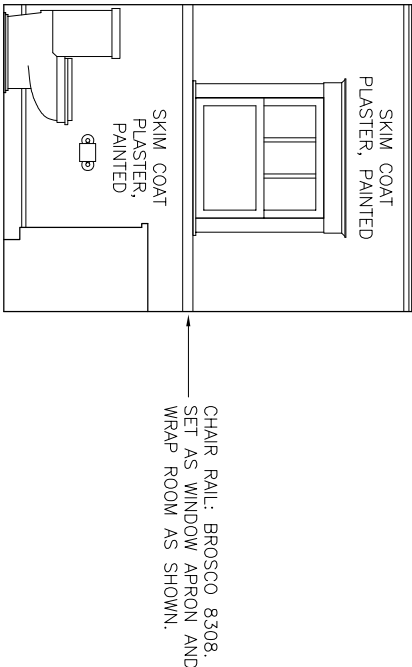
1 Bath 1 - West
SCALE: 1/4" = 1'-0"



3 Bath 1 - East
SCALE: 1/4" = 1'-0"



2 Bath 1 - North
SCALE: 1/4" = 1'-0"



4 Bath 1 - South
SCALE: 1/4" = 1'-0"

OWNERS TO PROVIDE
CABINETS, COUNTERTOPS,
TILE, AND APPLANCES.
CONTRACTOR TO CARRY
INSTALLATION IN BASE BID.

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

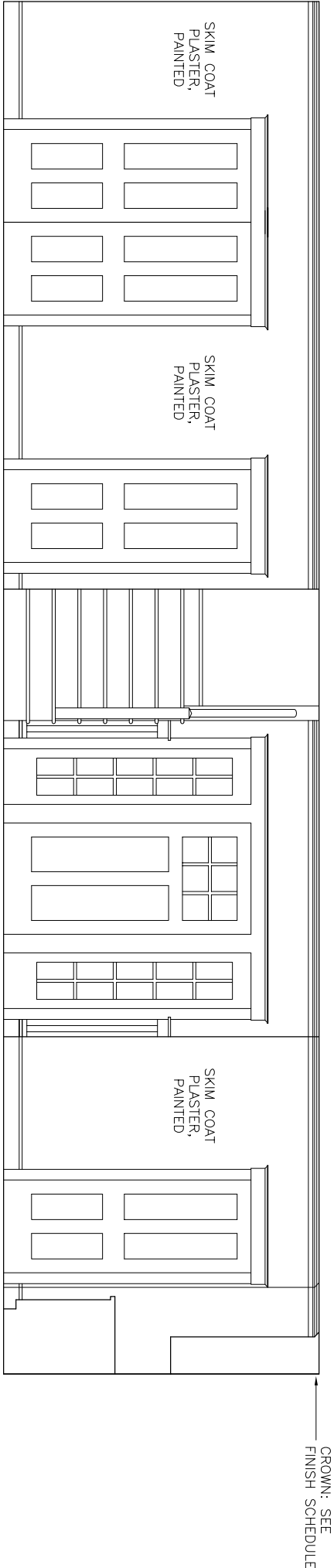
Interior Elevations
Kit/Din/Liv Rm

SCALE: 1/4" = 1'-0" DATE: 5.21.13

DRAWN BY: DWW FILE: PLANS

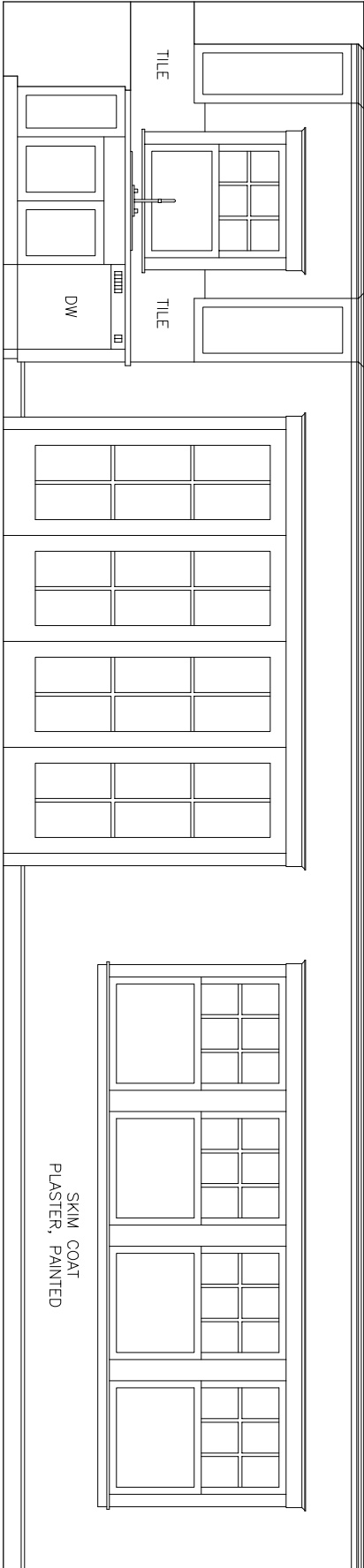
SHEET

A4.13



Kit/Din/Liv Rm - South

SCALE: 1/4" = 1'-0"



Kit/Din/Liv Rm - North

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

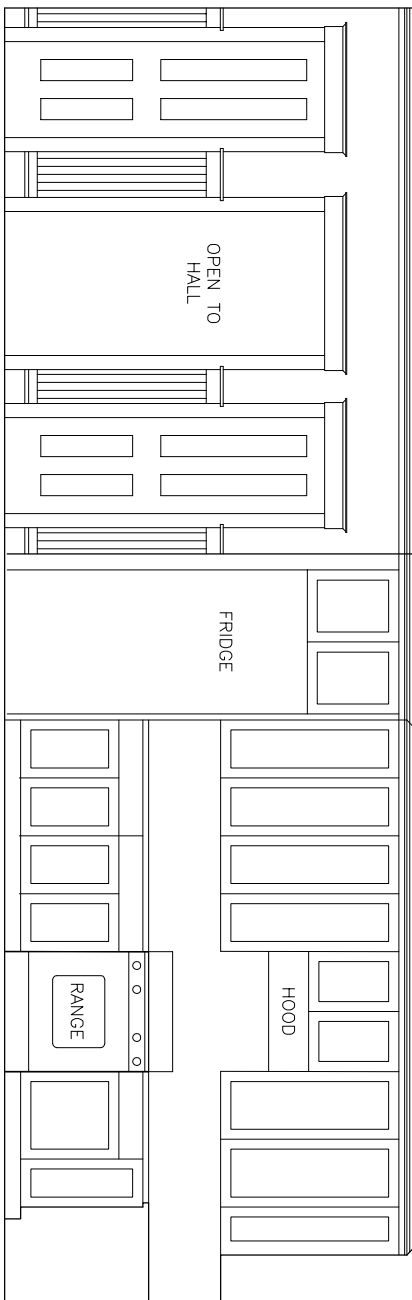
Interior Elevations
Kit/Din/Liv Rm

SCALE: 1/4" = 1'-0" DATE: 5.21.13

DRAWN BY: DWW FILE: PLANS

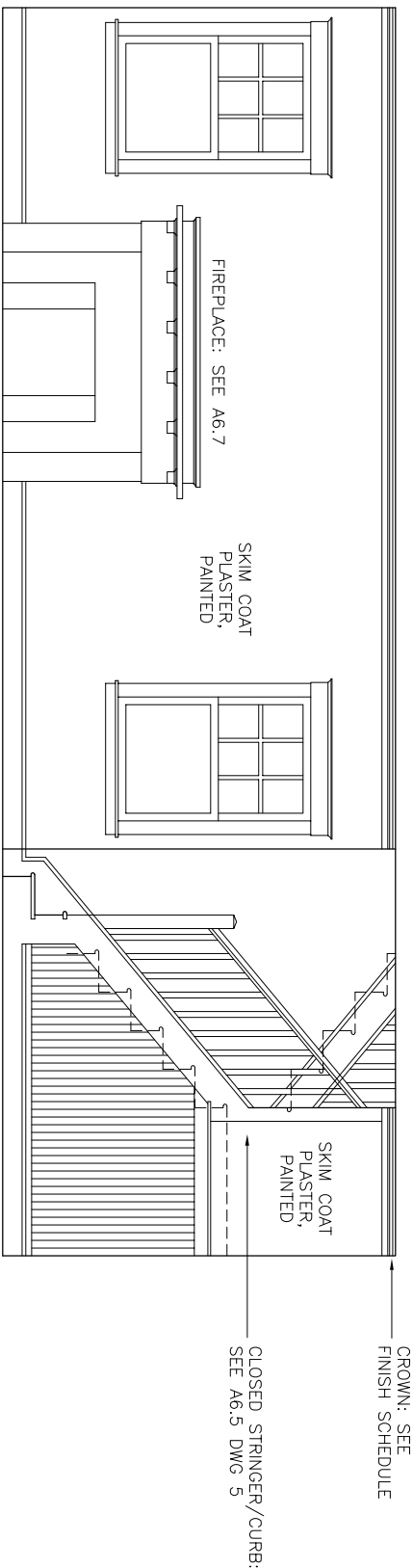
SHEET

A4.14



1 Kit/Din/Liv Rm - West

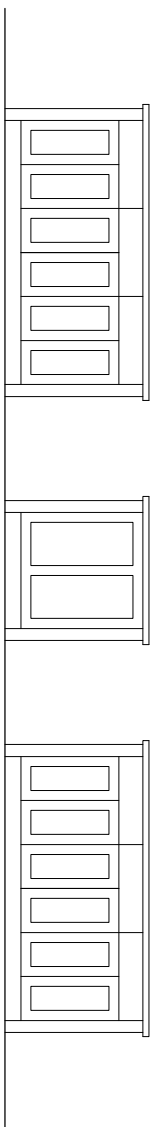
SCALE: 1/4" = 1'-0"



2 Kit/Din/Liv Rm - East

SCALE: 1/4" = 1'-0"

STAIR PARTS:
TREADS: OAK, STAINED & POLY'D.
RISERS: OAK, STAINED & POLY'D.
SCOTIA: BROSCO B-601, STAINED & POLY'D.
NEWELPOSTS: CROWN HERITAGE B-786, B-787, B-788, PAINTED.
HANDRAIL: CROWN HERITAGE 6010P, STAINED & POLY'D. NO ROSETTES.
BALUSTERS: CROWN HERITAGE 5060, PAINTED.



3 Island

SCALE: 1/4" = 1'-0"

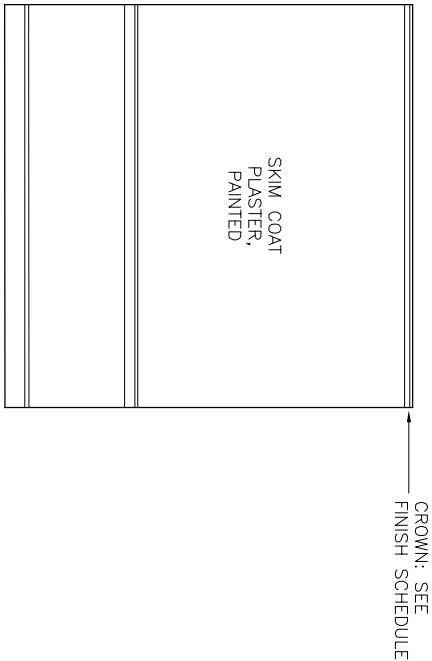
GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:
Interior Elevations
Office

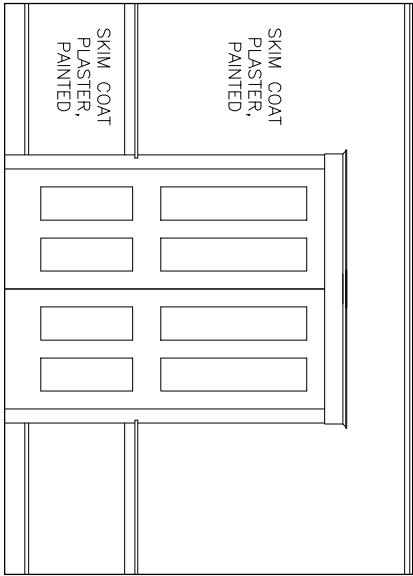
SCALE: DATE:
1/4" = 1'-0" 5.21.13
DRAWN BY: FILE:
DWW PLANS

SHEET

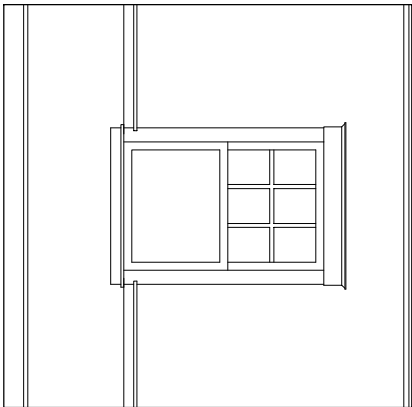
A4.15



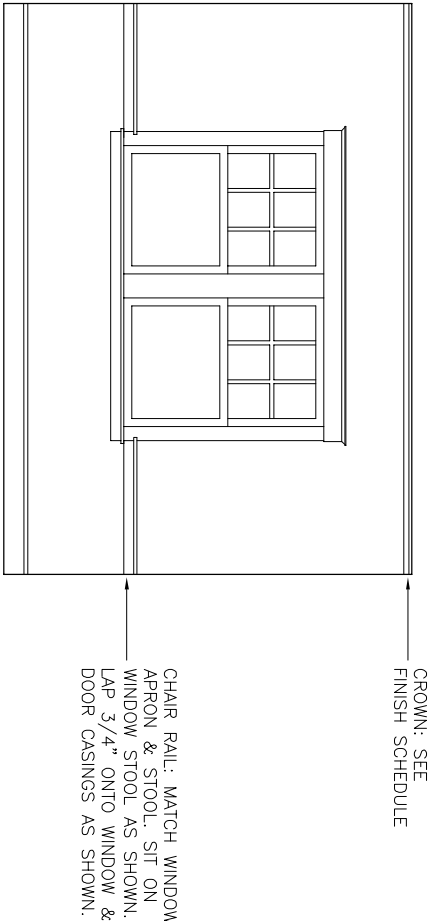
1 Office - West
SCALE: 1/4" = 1'-0"



2 Office - North
SCALE: 1/4" = 1'-0"



3 Office - East
SCALE: 1/4" = 1'-0"



4 Office - South
SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

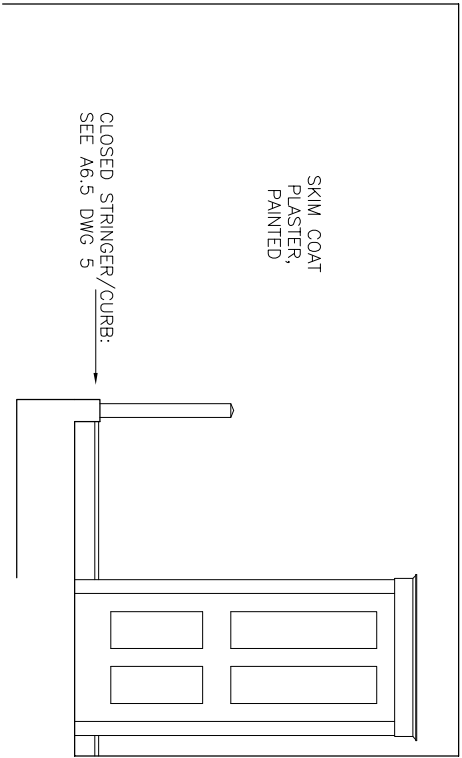
Interior Elevations
Second Fl Hall

SCALE: 1/4" = 1'-0" DATE: 5.21.13

DRAWN BY: DWW FILE: PLANS

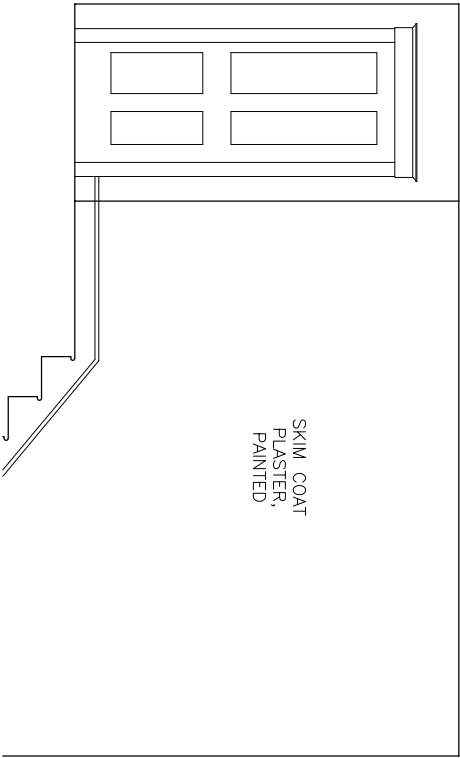
SHEET

A4.21



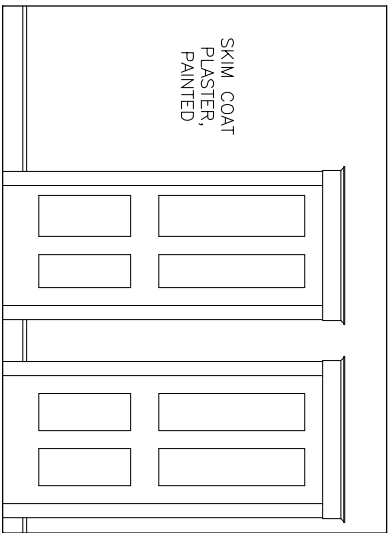
1 Second Fl Hall - West

SCALE: 1/4" = 1'-0"



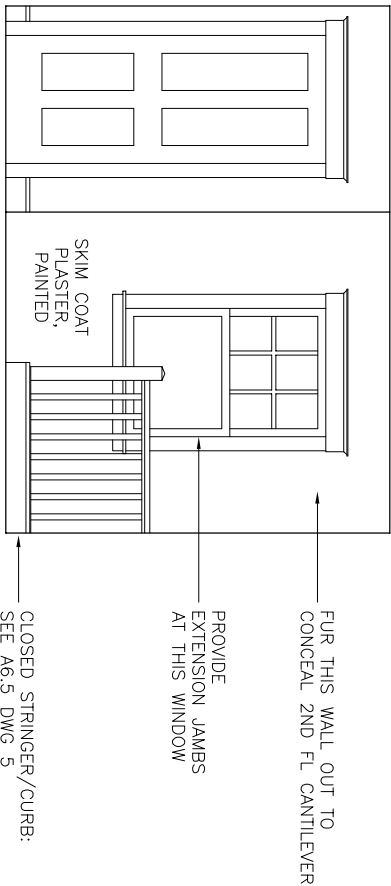
3 Second Fl Hall - East

SCALE: 1/4" = 1'-0"



2 Second Fl Hall - North

SCALE: 1/4" = 1'-0"



4 Second Fl Hall - South

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

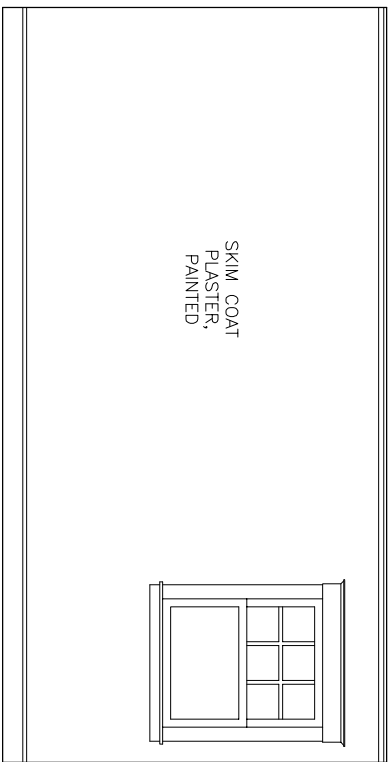
Interior Elevations
Master Bedroom

SCALE: DATE:
1/4" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

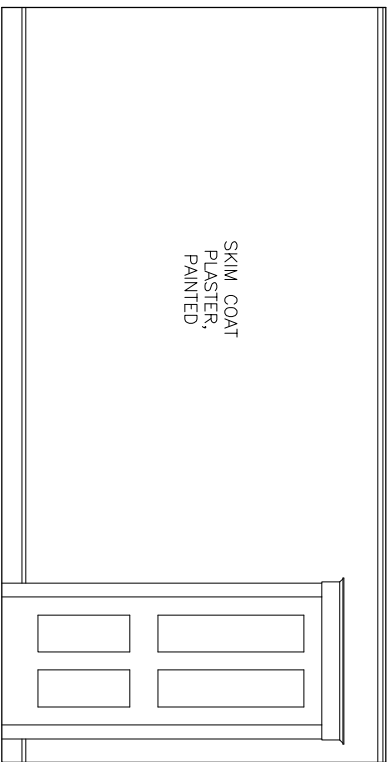
SHEET

A4.22



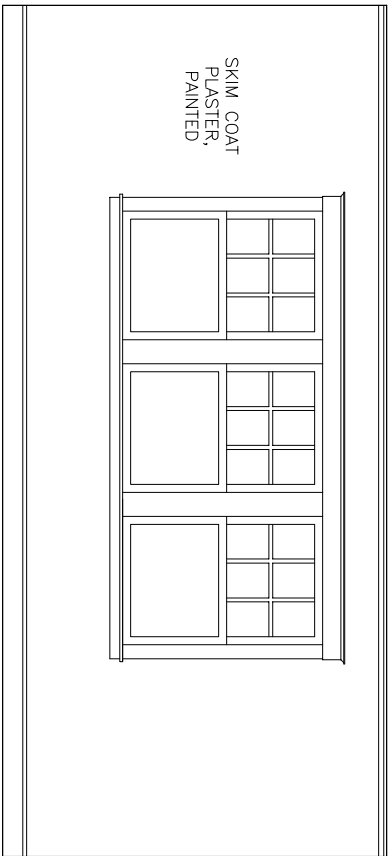
1 Master Bedroom - West

SCALE: 1/4" = 1'-0"



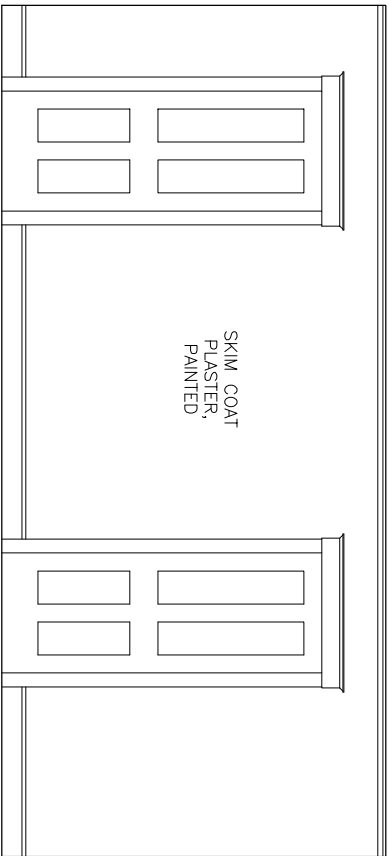
3 Master Bedroom - East

SCALE: 1/4" = 1'-0"



2 Master Bedroom - North

SCALE: 1/4" = 1'-0"



4 Master Bedroom - South

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

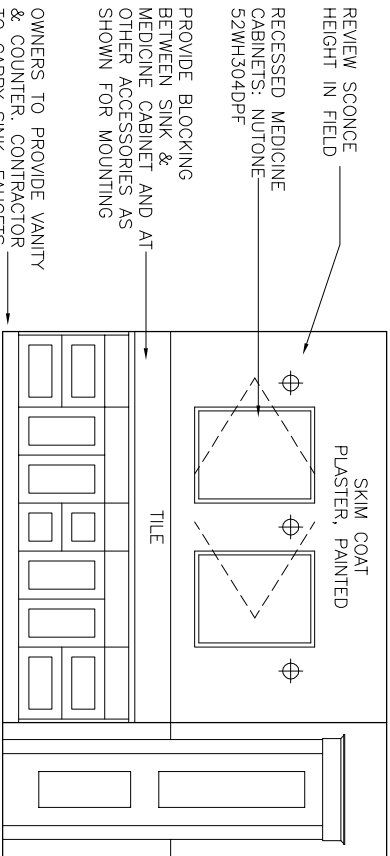
Interior Elevations
Master Bath

SCALE: DATE:
1/4" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

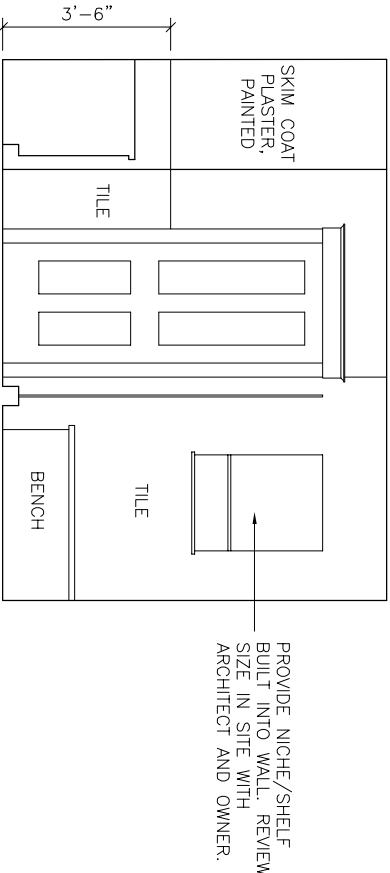
SHEET

A4.23



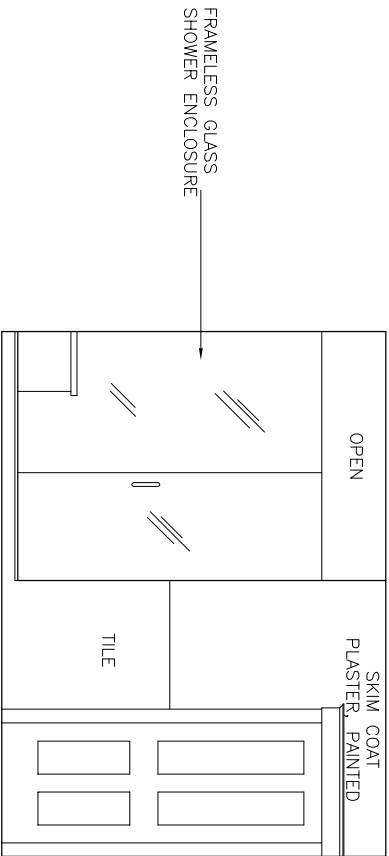
1 Master Bath - West

SCALE: 1/4" = 1'-0"



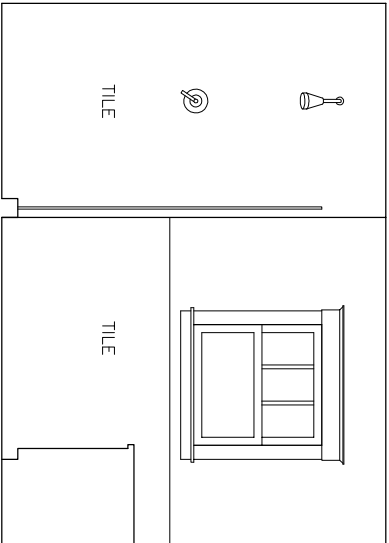
2 Master Bath - North

SCALE: 1/4" = 1'-0"



3 Master Bath - East

SCALE: 1/4" = 1'-0"



4 Master Bath - South

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

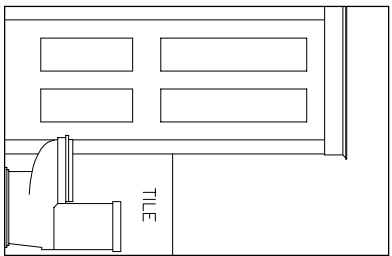
Interior Elevations
Master Bath

SCALE: DATE:
1/4" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

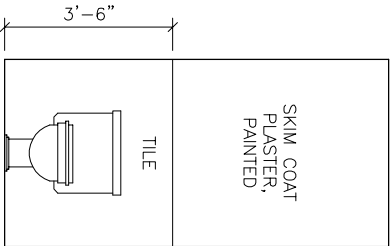
SHEET

A4.24



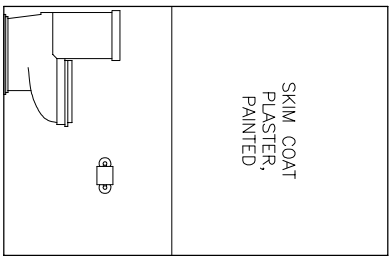
1 Toilet Area - West

SCALE: 1/4" = 1'-0"



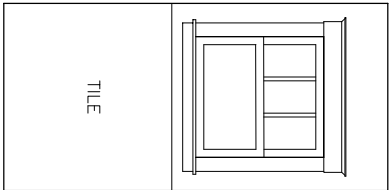
2 Toilet Area - North

SCALE: 1/4" = 1'-0"



3 Toilet Area - East

SCALE: 1/4" = 1'-0"



4 Toilet Area - South

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

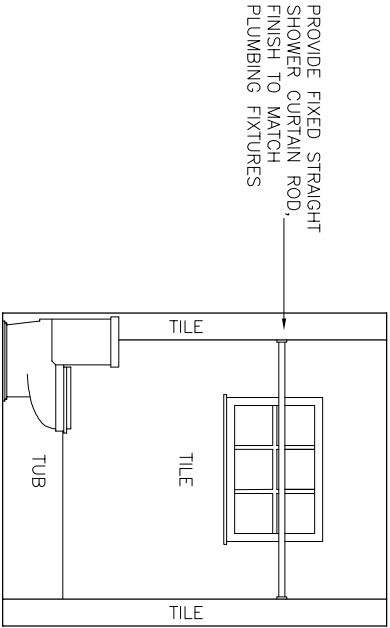
Interior Elevations
Bath 3

SCALE: 1/4" = 1'-0" DATE: 5.21.13

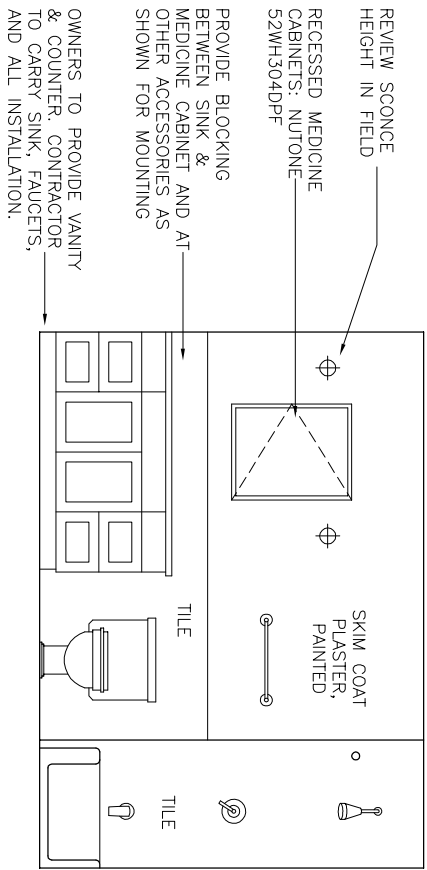
DRAWN BY: DWW FILE: PLANS

SHEET

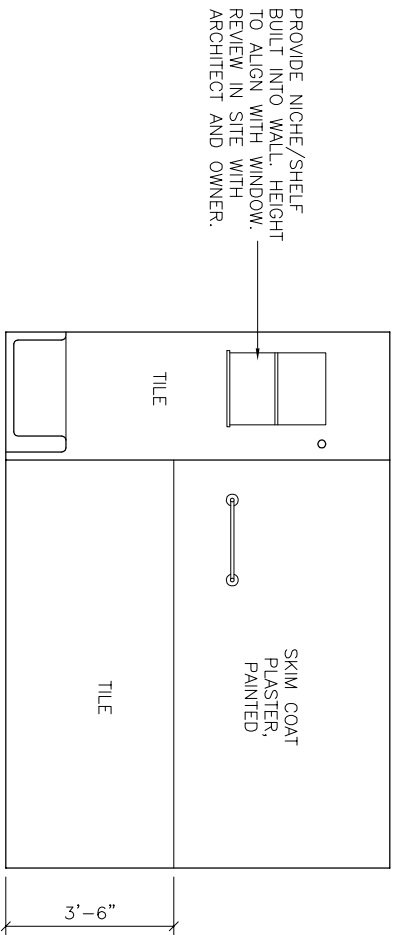
A4.25



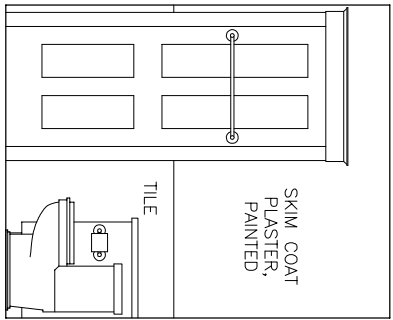
2 Bath 3 - North
SCALE: 1/4" = 1'-0"



1 Bath 3 - West
SCALE: 1/4" = 1'-0"



3 Bath 3 - East
SCALE: 1/4" = 1'-0"



4 Bath 3 - South
SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

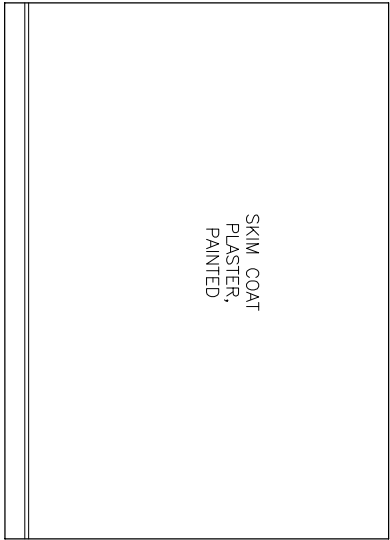
Interior Elevations
Bedroom 2

SCALE: 1/4" = 1'-0" DATE: 5.21.13

DRAWN BY: FILE:
DWW PLANS

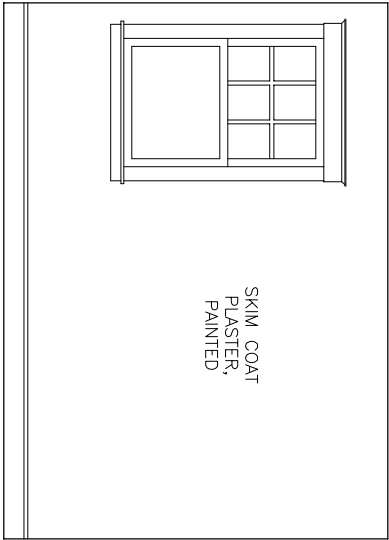
SHEET

A4.26



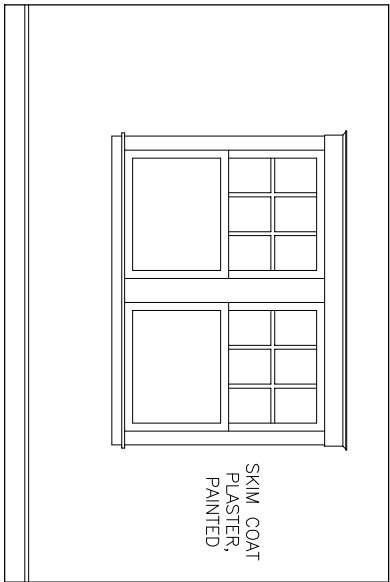
1 Bedroom 2 - West

SCALE: 1/4" = 1'-0"



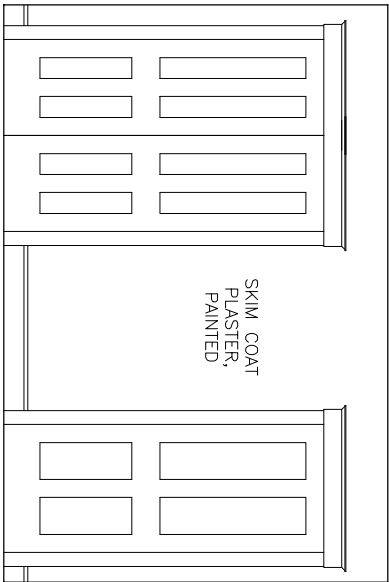
3 Bedroom 2 - East

SCALE: 1/4" = 1'-0"



2 Bedroom 2 - North

SCALE: 1/4" = 1'-0"



4 Bedroom 2 - South

SCALE: 1/4" = 1'-0"

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

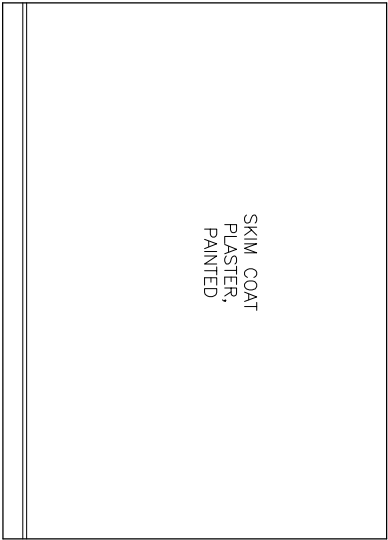
Interior Elevations
Bedroom 3

SCALE: DATE:
1/4" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

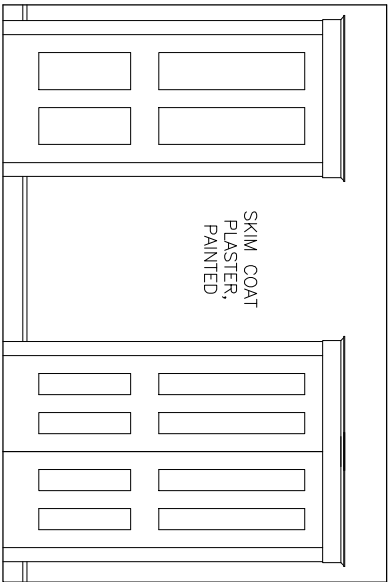
SHEET

A4.27



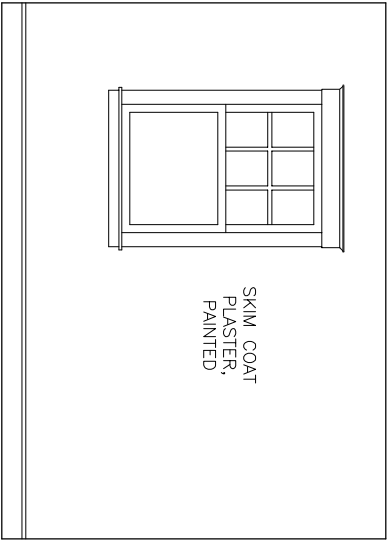
1 Bedroom 3 - West

SCALE: 1/4" = 1'-0"



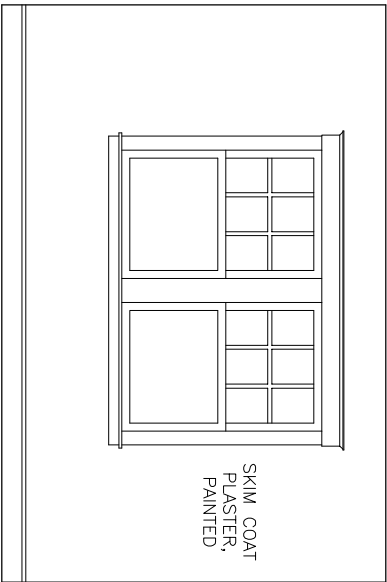
2 Bedroom 3 - North

SCALE: 1/4" = 1'-0"



3 Bedroom 3 - East

SCALE: 1/4" = 1'-0"



4 Bedroom 3 - South

SCALE: 1/4" = 1'-0"

Finish Schedule

ROOM NAME	FLOOR	WALLS	CEILING	WALL BASE	CASINGS	CROWN	TRIM FINISH	NOTES
GARAGE	CONCRETE SLAB	FIRE CODE X GWB, PAINTED	FIRE CODE X GWB, PAINTED	1x4 ON TOP OF CONCRETE	POPLAR 1x4s	NONE	PAINTED	
BASEMENT	CONCRETE SLAB	UNFINISHED CONCRETE	UNFINISHED	1x8 AT FRAMED WALLS ONLY	POPLAR 1x4s	NONE	PAINTED	
STAIRS B-TO-1	OAK TREADS	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	1x APRON	POPLAR 1x4s	NONE	PAINTED	
FOYER	OAK, STAINED	SKIM COAT PLASTER, PAINTED/ BEADED BOARD	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3 & 4	SEE A6.5 DWG 1		PAINTED	
COAT CLOSET	OAK, STAINED	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	POPLAR 1x8	POPLAR 1x4s	NONE	PAINTED	SHELF & ROD: SEE A6.4 DWG 2
FIRST FL HALL	TILE	SKIM COAT PLASTER, PAINTED/ BEADED BOARD	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3 & 4	SEE A6.5 DWG 1	BROSCO 8288	PAINTED	CUBBIES: SEE A6.6
BATH 1	TILE	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	BROSCO 8288	PAINTED	CHAIR RAIL: SEE INT ELEVS
KITCHEN / DIN / LIV RM	OAK, STAINED	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1		PAINTED	
PANTRY	OAK, STAINED	1/2" PLYWOOD OR MDO, PAINTED	SKIM COAT PLASTER, PAINTED	POPLAR 1x8	POPLAR 1x4s	NONE	PAINTED	
CLOSET A	OAK, STAINED	1/2" PLYWOOD OR MDO, PAINTED	SKIM COAT PLASTER, PAINTED	POPLAR 1x8	POPLAR 1x4s	NONE	PAINTED	ADJ SHELVES: SEE A6.4 DWG 3
OFFICE	OAK, STAINED	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	BROSCO 8288	PAINTED	CHAIR RAIL: SEE INT ELEVS
STAIRS 1-TO-2	OAK TREADS, STAINED	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	NONE	PAINTED	
SECOND FL HALL	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	NONE	PAINTED	
MASTER BEDROOM	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	BROSCO 8288	PAINTED	
MASTER BATH (BATH 2)	TILE	SKIM COAT PLASTER / TILE. SEE INT ELEVS.	SKIM COAT PLASTER, PAINTED	TILE	SEE A6.5 DWG 1	NONE	PAINTED	
MASTER BATH LINEN CLOSET	TILE	1/2" PLYWOOD OR MDO, PAINTED	SKIM COAT PLASTER, PAINTED	TILE	POPLAR 1x4s	NONE	PAINTED	ADJ SHELVES: SEE A6.4 DWG 3
MASTER CLOSET	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	NONE	PAINTED	
BATH 3	TILE	SKIM COAT PLASTER / TILE. SEE INT ELEVS.	SKIM COAT PLASTER, PAINTED	TILE	SEE A6.5 DWG 1	NONE	PAINTED	
BEDROOM 2	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	NONE	PAINTED	
BEDROOM 2 CLOSET	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	POPLAR 1x8	POPLAR 1x4s	NONE	PAINTED	SHELF & ROD: SEE A6.4 DWG 2
BEDROOM 3	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	SEE A6.5 DWG 3	SEE A6.5 DWG 1	NONE	PAINTED	
BEDROOM 3 CLOSET	OAK	SKIM COAT PLASTER, PAINTED	SKIM COAT PLASTER, PAINTED	POPLAR 1x8	POPLAR 1x4s	NONE	PAINTED	SHELF & ROD: SEE A6.4 DWG 2
HALLWAY LINEN CLOSET	OAK	1/2" PLYWOOD OR MDO, PAINTED	SKIM COAT PLASTER, PAINTED	POPLAR 1x8	POPLAR 1x4s	NONE	PAINTED	ADJ SHELVES: SEE A6.4 DWG 3

FINISH NOTES

- WALL BOARD: USE 5/8" WALL BOARD ON CEILINGS. 1/2" WALL BOARD IS ACCEPTABLE ON WALLS.
- PLASTER: ALL PLASTER EVERYWHERE IN AREA OF WORK TO BE SMOOTH, INCLUDING CLOSETS, CEILINGS, AND CLOSET CEILINGS.
- TILE & STONE: ALL TILE & STONE TO BE DETERMINED. CARRY INSTALLATION IN BASE BID. PROVIDE WONDERBOARD OR APPROVED SUBSTITUTE BACKER BOARD AT ALL TILE LOCATIONS, WALLS AND FLOORS.
- THRESHOLDS: REVIEW INTERIOR THRESHOLDS IN FIELD WITH ARCHITECT PRIOR TO INSTALLING FLOORING.

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

Finish Schedule

SCALE: AS NOTED
DATE: 5.21.13

DRAWN BY: DWW
FILE: PLANS

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A5.1

Door Schedule

NUMBER	SIZE		DOOR			HW	STOP	NOTES
	HEIGHT	WIDTH	THICKNESS	MANF	MODEL			
1	6' – 8"	3' – 0"	1 3/4"	FLUSH FIBERGLASS		NONE	EXTERIOR	ALUMINUM THRESHOLD
2	6' – 8"	3' – 0"	1 3/4"	SIMPSON	F-7662	PAINTED	ENTRY	OAK THRESHOLD
3	6' – 8"	3' – 0"	1 1/8"	COMB DR CO	ULTRA-VU	PAINTED	SCREEN	1 LITE STORM PANEL
4	6' – 8"	2' – 0"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PASSAGE	WALL
5	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	BATH	NONE
6	6' – 8"	2' – 6"	1 3/4"	SIMPSON	44 PAINT GRADE	PAINTED	EXTERIOR	WALL
7	6' – 8"	2' – 0"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PASSAGE	NONE
8	6' – 8"	3' – 0"	1 3/4"	SIMPSON	F-418	PAINTED	EXTERIOR	WALL
9	6' – 8"	5' – 0"	1 3/4"	SIMPSON	7106	PAINTED	DBL EXTERIOR	2 WALL
10	6' – 8"	5' – 0"	1 1/8"	COMB DR CO	ULTRA-VU	PAINTED	DBL SCREEN	NONE
11	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PASSAGE	NONE
12	6' – 8"	5' – 0"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	DBL POCKET	NONE
13	6' – 8"	2' – 8"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PRIVACY	WALL
14	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	POCKET	NONE
15	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	BATH	FLOOR
16	6' – 8"	2' – 0"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	BATH POCKET	NONE
17	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	BATH	WALL
18	6' – 8"	2' – 8"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PRIVACY	WALL
19	6' – 8"	4' – 0"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	DBL CLOSET	2 WALL
20	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PASSAGE	FLOOR
21	6' – 8"	2' – 8"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	PRIVACY	WALL
22	6' – 8"	4' – 0"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	DBL CLOSET	2 WALL
23	6' – 8"	2' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	POCKET	NONE
24	6' – 8"	1' – 6"	1 3/8"	SIMPSON	44 PAINT GRADE	PAINTED	BATH CL	NONE

Door Hardware Schedule

EXTERIOR
HINGES: BALDWIN 1040, (3) PER LEAF, WITH BALDWIN 1090 BALL FINIALS.
LOCK SET: BALDWIN 5205 KEY-IN-KNOB SET.
ENSURE LATCH DOESN'T DAMAGE CASING. PROVIDE OVERSIZE STRIKE IF REQUIRED.

DOUBLE EXTERIOR
HINGES: BALDWIN 1040, (3) PER LEAF, WITH BALDWIN 1090 BALL FINIALS.
LOCK SET: BALDWIN 5205 KEY-IN-KNOB SET.
ENSURE LATCH DOESN'T DAMAGE CASING. PROVIDE OVERSIZE STRIKE IF REQUIRED.
DOUBLE DUMMY TRIM TO MATCH 5205 ON INACTIVE LEAF.
SURFACE BOLTS: BALDWIN 0321 AT TOP & BOTTOM OF INACTIVE LEAF.

ENTRY
HINGES: BALDWIN 1040, (3) PER LEAF, WITH BALDWIN 1090 BALL FINIALS.
LOCK SET: BALDWIN MADSON 5320 TUBULAR SET.
ENSURE LATCH DOESN'T DAMAGE CASING. PROVIDE OVERSIZE STRIKE IF REQUIRED.

SCREEN
HINGES: STANDARD HINGES PROVIDED WITH DOOR. MORTISE, DO NOT SURFACE MOUNT.
LATCH SET: REJUVENATION LANE SCREEN DOOR SET #C3141.
INSTIAL STANDARD CLOSER & CHAIN PROVIDED WITH DOOR.

DOUBLE SCREEN
HINGES: STANDARD HINGES PROVIDED WITH DOOR. MORTISE, DO NOT SURFACE MOUNT.
LATCH SET: REJUVENATION LANE SCREEN DOOR SET #C3141
INSTAL STANDARD CLOSER & CHAIN PROVIDED WITH DOOR ON BOTH LEAVES.
DOUBLE DUMMY TRIM TO MATCH ON INACTIVE LEAF.
SURFACE BOLTS: BALDWIN 0321 AT TOP & BOTTOM OF INACTIVE LEAF

PASSAGE
HINGES: EMTEK 3 1/2" HINGES, SQUARE CORNERS, BALL FINIALS, 3 PER LEAF.
KNOBS: EMTEK ICE WHITE KNOBS.
BACK PLATES: EMTEK QUINCY BACK PLATES.
LATCH SET: EMTEK PASSAGE SET.

PRIVACY
HINGES: EMTEK 3 1/2" HINGES, SQUARE CORNERS, BALL FINIALS, 3 PER LEAF.
KNOBS: EMTEK ICE WHITE KNOBS.
BACK PLATES: EMTEK QUINCY BACK PLATES.
LATCH SET: EMTEK PRIVACY SET.

BATH
SAME AS PRIVACY, ONLY WITH FINISH TO MATCH PLUMBING FIXTURES ON ALL PARTS VISIBLE INSIDE BATHROOM.

DOUBLE CLOSET
HINGES: EMTEK 3 1/2" HINGES, SQUARE CORNERS, BALL FINIALS, 3 PER LEAF.
LATCH SET: DOUBLE DUMMY TRIM ON BOTH LEAVES, 4 KNOBS TOTAL.
KNOBS: EMTEK ICE WHITE KNOBS.
BACK PLATES: EMTEK QUINCY BACK PLATES.
BALDWIN BALL CATCH AT TOP OF EACH LEAF.

POCKET & DOUBLE POCKET
RAILS & CASTERS: JOHNSON 200PD POCKET DOOR SET.
EDGE & SURFACE SET: EMTEK MORTISED POCKET DOOR PASSAGE SET.

BATH POCKET
SAME AS POCKET, ONLY WITH FINISH TO MATCH PLUMBING FIXTURES.

BATH CLOSET
SAME AS PRIVACY, ONLY WITH FINISH TO MATCH PLUMBING FIXTURES.

NOTES
WALL STOPS: BALDWIN 4045.
FLOOR STOPS: BALDWIN 4510.
FINISHES: EMTEK: PEWTER
BALDWIN: ANTOUE NICKEL
REJUVENATION: BRUSHED NICKEL
KEY ALL EXTERIOR DOORS ALIKE, ON ONE KEY.

DAVID WHITNEY
ARCHITECT
49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

Door & Hardware
Schedules

TITLE:
SCALE: DATE:
AS NOTED 5.21.13
DRAWN BY: FILE:
DWW PLANS

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A5.2

Window Schedule

MARK	MANF	MODEL	OPERATION	R. O. SIZE		INSTALLATION HEIGHT	GLAZING PATTERN	NOTES
				WIDTH	HEIGHT			
A	JELD WEN SITELINE	EWAS3028	AWNING	2' – 6 3/4"	2' – 4 3/4"	ALIGN HEAD WITH BOTTOM OF SIDING	3W x 2H	
B	CUSTOM	--	FIXED	9' – 0"	1' – 6"	OVER GARAGE DOOR	8W x 2H	
C	JELD WEN SITELINE	EWDS3136	DOUBLE HUNG	2' – 8 1/8"	3' – 0 3/4"	ALIGN TOP WITH TOP OF DOORS	3 OVER 1	
D	HARVEY	AWN31	AWNING	3' – 0 1/2"	2' – 0 1/2"	ALIGN TOP WITH TOP OF DOORS	3 OVER 1	
E	JELD WEN SITELINE	EWDS352	DOUBLE HUNG	2' – 10 1/8"	4' – 4 3/4"	ALIGN TOP WITH TOP OF DOORS	6 OVER 1	
F	SIMPSON	7010	FIXED	1' – 6"	6' – 8"	ALIGN TOP WITH TOP OF DOORS	2W x 5H	
G	JELD WEN SITELINE	EWDS344	DOUBLE HUNG	2' – 10 1/8"	3' – 8 3/4"	ALIGN TOP WITH TOP OF DOORS	6 OVER 1	
H	SIMPSON	7106	FIXED	2' – 6"	6' – 8"	ALIGN TOP WITH TOP OF DOORS	3W x 2H	TEMPERED GLASS

NOTES:

- GANGED WINDOWS MAY BE MULLED TOGETHER IN THE FACTORY, BUT MUST PROVIDE STUD POCKET FOR (2) 2x STUDS PLUS SHIM SPACE BETWEEN ALL GANGED WINDOWS AS SHOWN IN ELEVATIONS.
- SHOP DRAWING SUBMITTAL REQUIRED FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING.
- PROVIDE CLAD SASHES IN WOODEN FRAMES, WITH HISTORICAL SILLS AND HORNS TO MATCH EXISTING.
- ALL INTERIOR FINISHES FACTORY PRIMED, PAINTED IN FIELD (EXCEPT HARVEY).
- EXTERIOR CASINGS 1x6 PLUS BROSCO 8462 BAND MOULDING. SEE ELEVATIONS.
- SCREENS: PROVIDE FULL SCREENS AT ALL OPERABLE UNITS.
- HARDWARE: FINISH TO BE SPECIFIED.
- GLAZING: CLEAR INSULATING LOW E GLASS, SIMULATED DIVIDED LITES (7/8" MUNTINS) WITH SPACER BARS.
- WHITE JAMBLINERS AT ALL WINDOWS.
- NO FINGER PLOUGHS ON JELD WEN WINDOWS.

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

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TITLE:

Window Schedule

SCALE: DATE:
AS NOTED 5.21.13
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A5.3

Plumbing Schedule

ROOM	ITEM	MANUFACTURER	MODEL	COLOR/FINISH	NOTES: 1. CARRY SHOWER CURTAIN RODS AND/OR SHOWER ENCLOSURES AS SHOWN IN INTERIOR ELEVATIONS IN BASE BID. 2. CARRY MEDICINE CABINETS AS SHOWN IN INTERIOR ELEVATIONS IN BASE BID. 3. CARRY TOILET SEATS BY TOILET MANUFACTURER FOR EACH TOILET IN BASE BID. 4. BATH ACCESSORIES SUCH AS TOWEL BARS, PAPER HOLDERS, ETC. TO BE PROVIDED BY OWNERS. CARRY INSTALLATION & BLOCKING IN BASE BID. SEE INTERIOR ELEVATIONS. 5. PLAN ROUGH PLUMBING TO ACCOMMODATE RECESSED MEDICINE CABINETS AND SHELVES AT TUBS AND SHOWERS AS SHOWN IN PLANS AND INTERIOR ELEVATIONS. 6. PROVIDE ALL ROUGH VALVES, SHUT-OFFS, ETC FOR ALL PRODUCTS LISTED IN SCHEDULE. SOME REQUIRED ROUGH PARTS MAY NOT APPEAR ON SCHEDULE. 7. TUB & SHOWER DRAIN FINISHES TO MATCH PLUMBING FITTINGS. 8. CARRY WATER TO FRIDGE. 9. LOCATE HEIGHTS OF ALL SHOWER HEADS & VALVES IN FIELD WITH ARCHITECT & OWNERS.
LAUNDRY	SINK	TO BE SPECIFIED. CARRY	\$200 ALLOWANCE.		
	FAUCET	TO BE SPECIFIED. CARRY	\$300 ALLOWANCE.		
KITCHEN	SINK	KOHLER	K-6546-3-0	WHITE	
	FAUCET	TO BE SPECIFIED. CARRY	\$400 ALLOWANCE.		
BATH 1	LAV	KOHLER	K-2214 LADENA	WHITE	
	LAV FAUCET	NEWPORT BRASS	920	SATIN NICKEL	
	TOILET	TOTO	CST424EFG	COTTON	
BATH 2	LAV (2)	KOHLER	K-2214 LADENA	WHITE	
	LAV FAUCETS (2)	NEWPORT BRASS	920	SATIN NICKEL	
	TOILET	TOTO	CST424EFG	COTTON	
	SHOWER SET	NEWPORT BRASS	3-924BP	SATIN NICKEL	
BATH 3	LAV	KOHLER	K-2214 LADENA	WHITE	
	LAV FAUCET	NEWPORT BRASS	920	SATIN NICKEL	
	TOILET	TOTO	CST424EFG	COTTON	
	TUB	TOTO	FBY1715LP	COTTON	
	TUB/SHOWER SET	NEWPORT BRASS	3-922BP	SATIN NICKEL	

Insulation Schedule

LOCATION	TYPE	R VALUE	NOTES
MAIN ROOF	OPEN CELLED ICYNENE	R-38	AT ATTIC FLOOR, NOT ROOF
GARAGE ROOF	NONE		
ENTRY PORCH ROOF	NONE		
GARAGE EXTERIOR WALLS	NONE		
HOUSE EXTERIOR WALLS	OPEN CELLED ICYNENE	R-21	
INTERIOR WALLS	FIBERGLASS BATTS, NO FACING	R-11, R-19	R-11 AT 2x4 WALLS, R-19 AT 2x6 WALLS (FOR ACOUSTICS)
RIM JOISTS (ALL FLOORS) & SILLS	OPEN CELLED ICYNENE	R-21	TREAT LIKE EXTERIOR WALLS
FRAMED FLOORS	FIBERGLASS BATTS	R-30	FACING ONLY AT TOP OVER UNHEATED BASEMENTS
BASEMENT SLAB	RIGID INSULATION	R-10	UNDER SLABS – SEE DETAILS
AROUND WINDOW FRAMES	NON-EXPANDING FOAM		
UNDER BATHTUBS	FIBERGLASS BATTS		FOR ACOUSTICS
BETWEEN STAIR STRINGERS	FIBERGLASS BATTS		FOR ACOUSTICS

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

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TITLE:

Plumbing &
Insulation Schedules
SCALE: AS NOTED
DATE: 5.21.13
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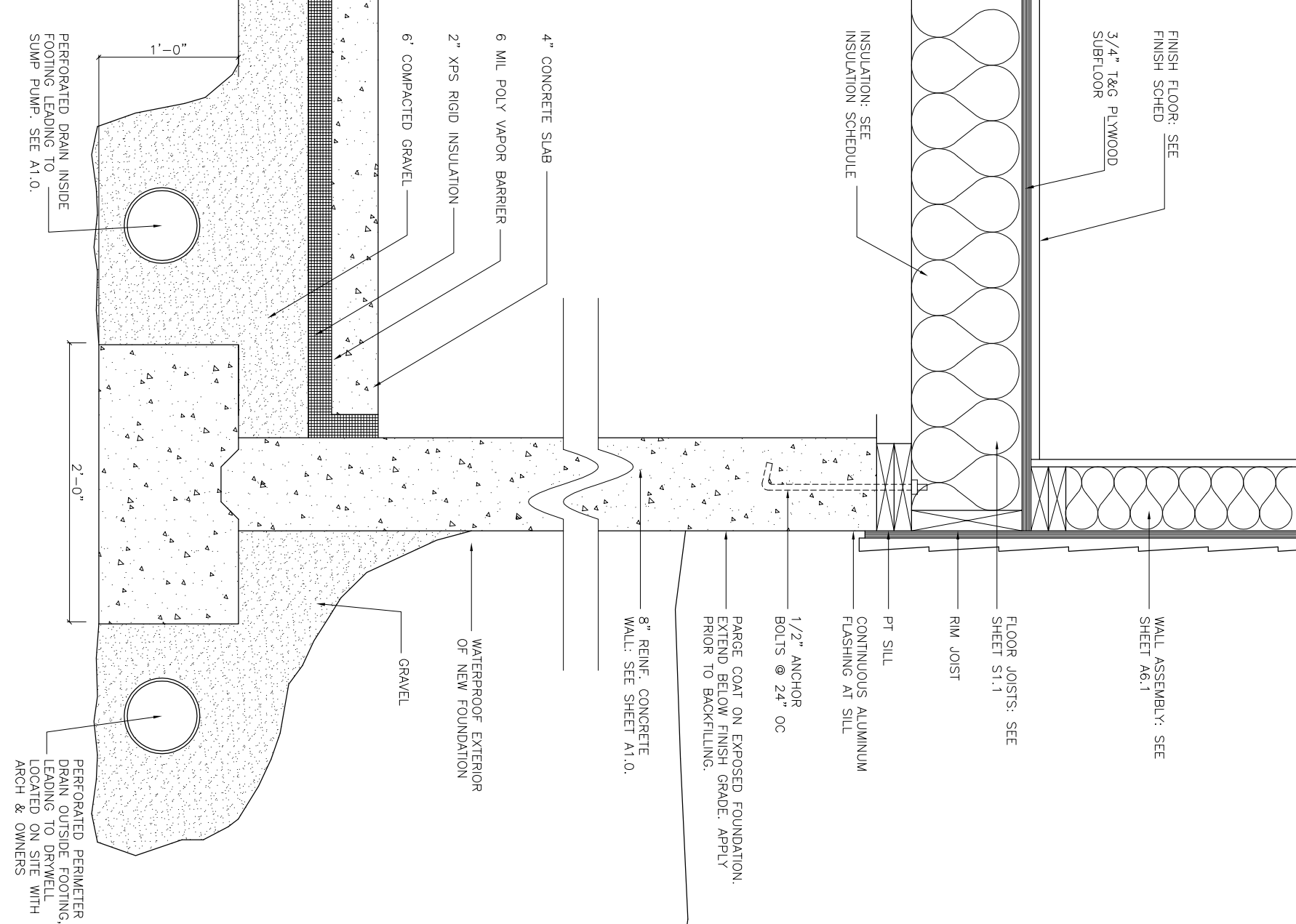
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112 STOW STREET
ACTON, MA 01720

TITLE:
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Foundation
SCALE: DATE:
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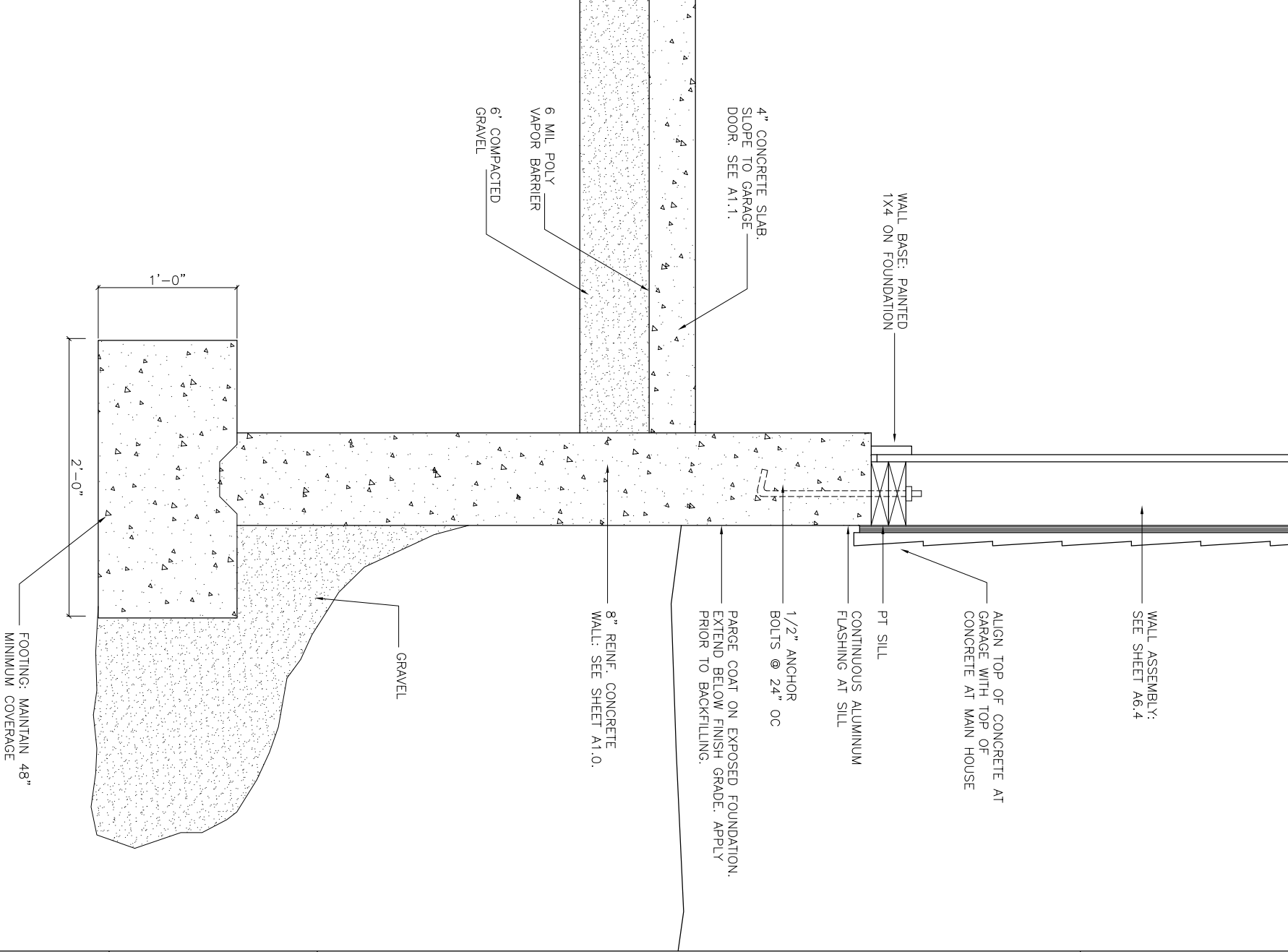
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1 Foundation Section - Main House
SCALE: 1" = 1'-0"



1 Foundation Section - Garage
SCALE: 1" = 1'-0"

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ARLINGTON, MA 02476
/81 643 0759

REVIEW POINT WHERE
RAKES MEET EAVES IN
FIELD WITH ARCHITECT
PRIOR TO CONSTRUCTION

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

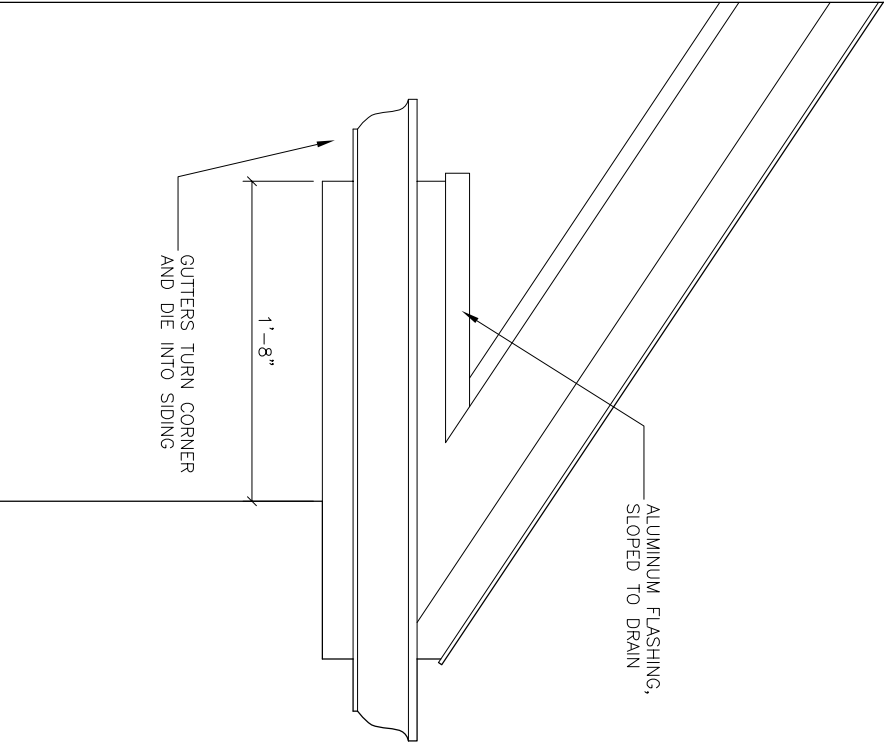
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Details:
Eaves & Rakes
SCALE: DATE:
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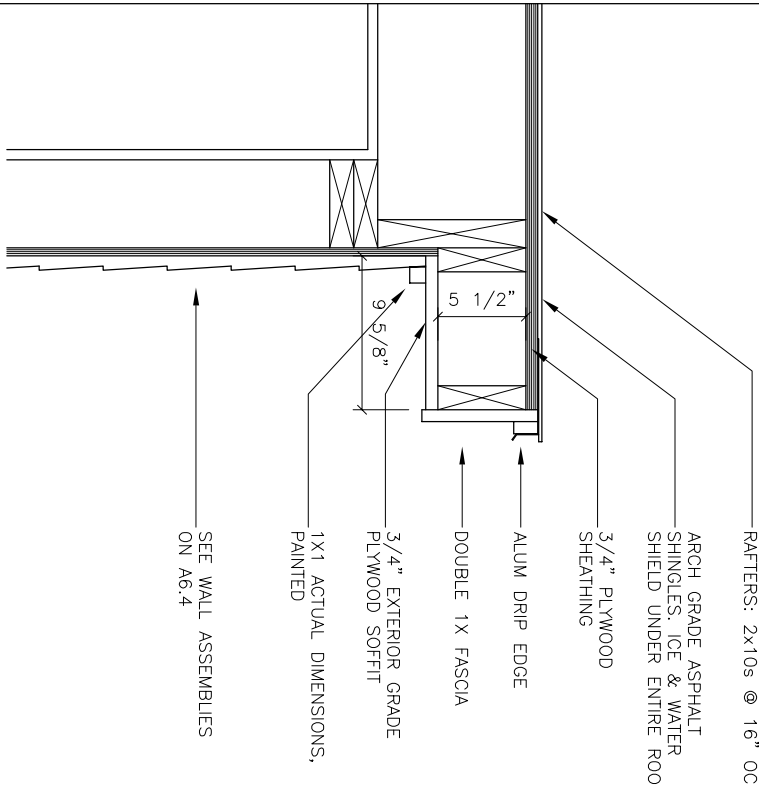
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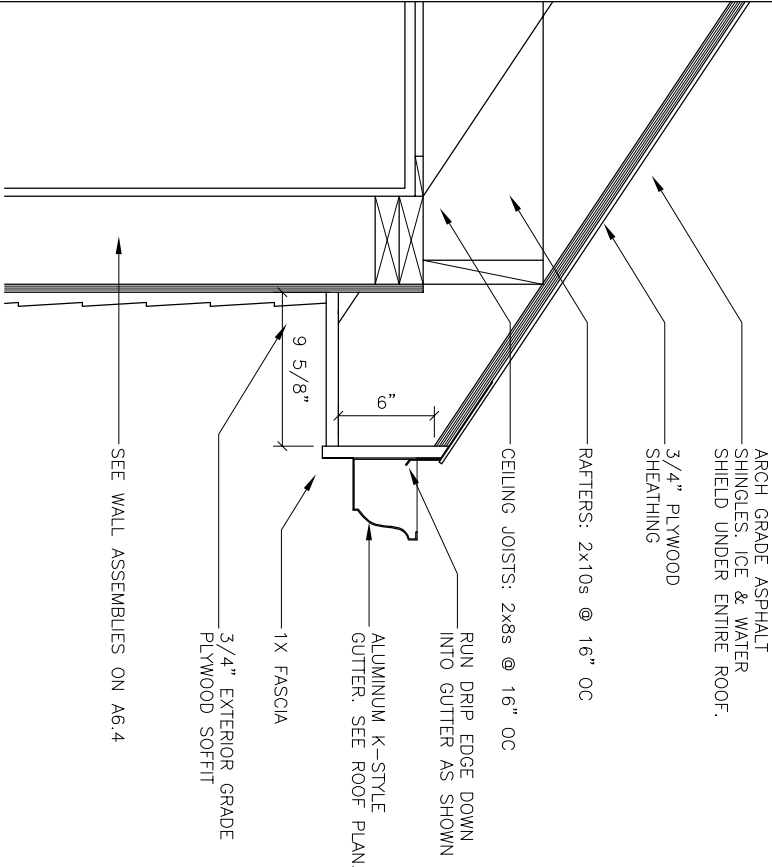
3 Rake Elevation

SCALE: 1" = 1'-0"



2 Rake Section

SCALE: 1" = 1'-0"



1 Eave Section

SCALE: 1" = 1'-0"

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GILBERT RESIDENCE
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TITLE:

Details:
Exterior Landings

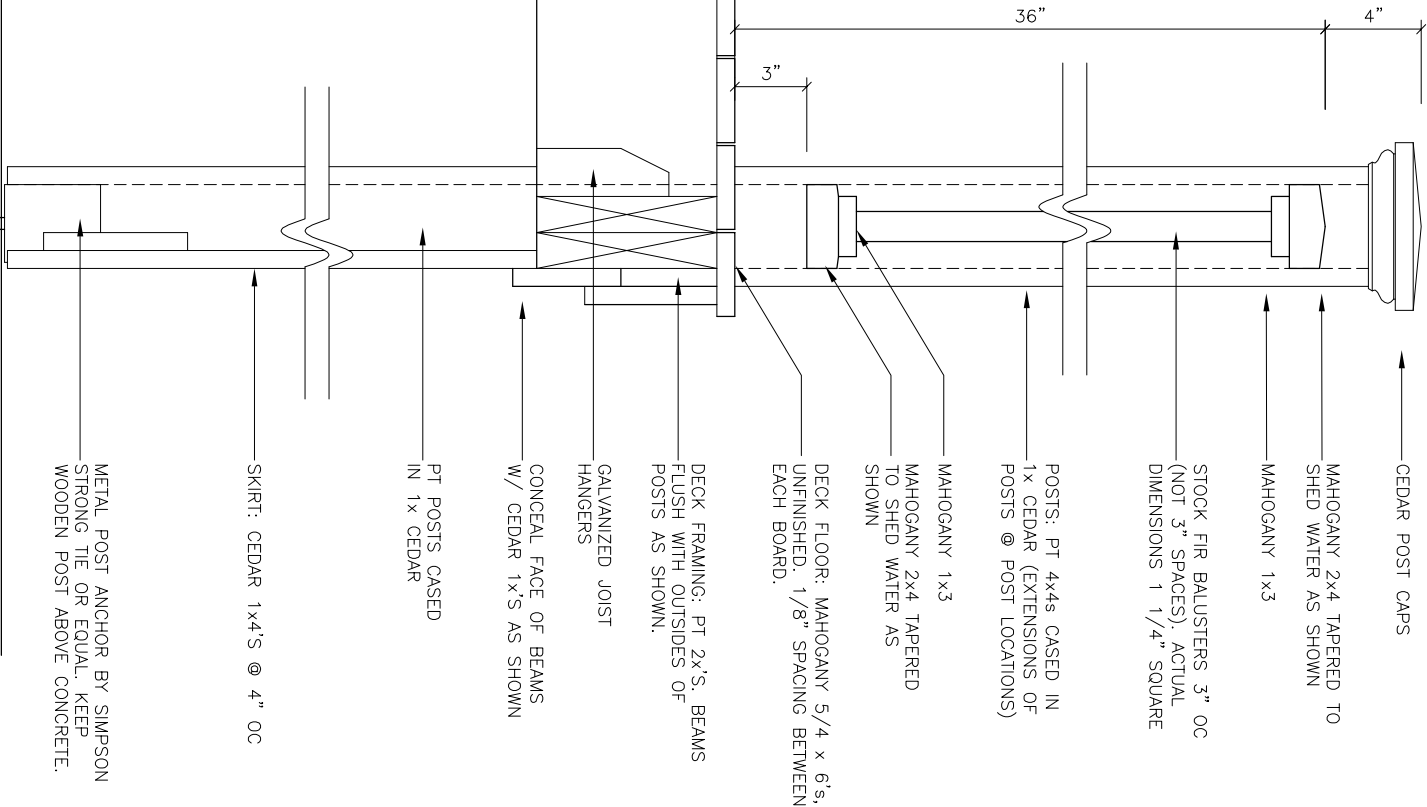
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1 1/2"=1'-0" 5.21.13

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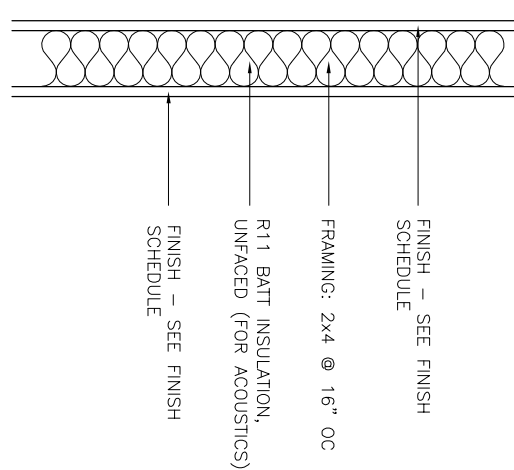
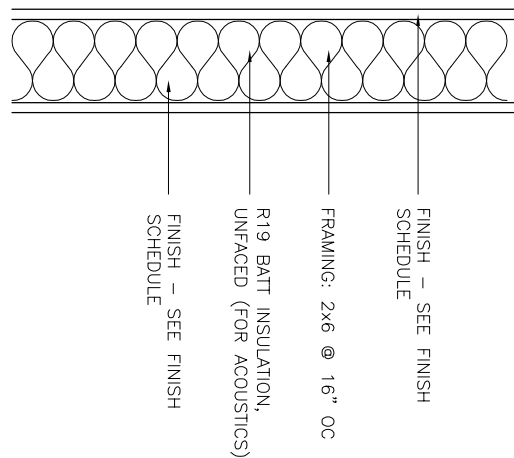
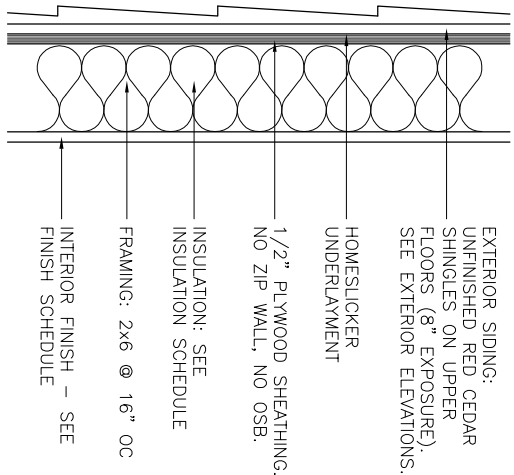
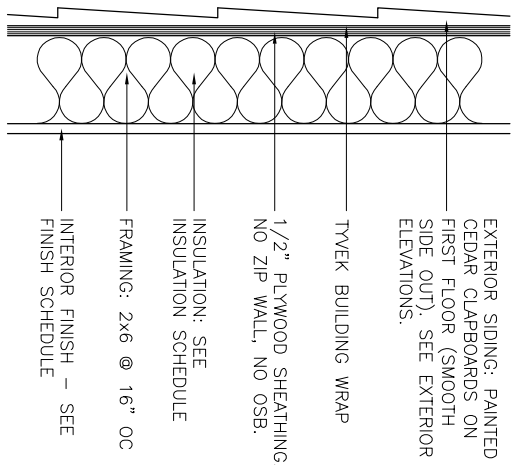
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ALL SURFACES
UNPAINTED &
UNFINISHED



SAME AS WALL ASSEMBLY "A1" WITHOUT INSULATION

Wall Assembly A1

Wall Assembly A2

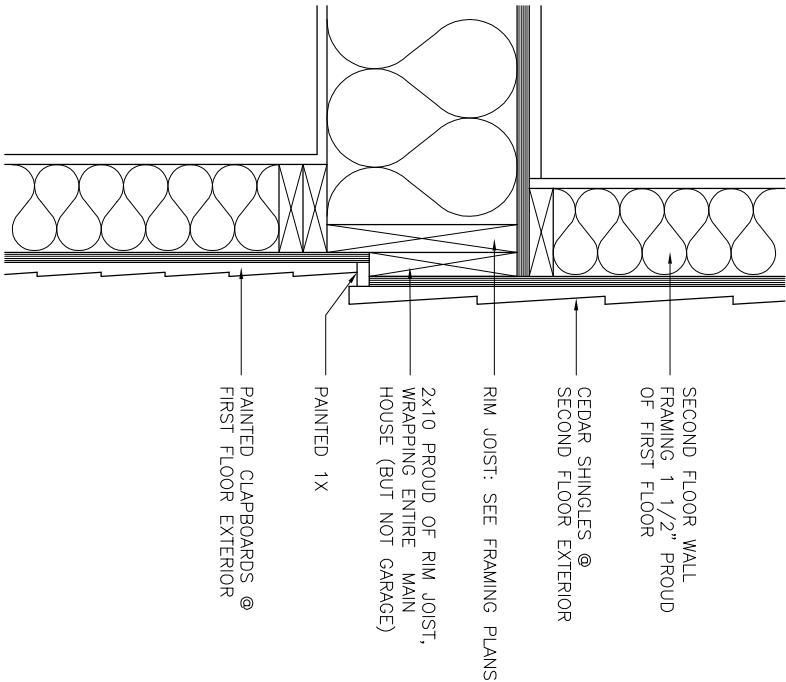
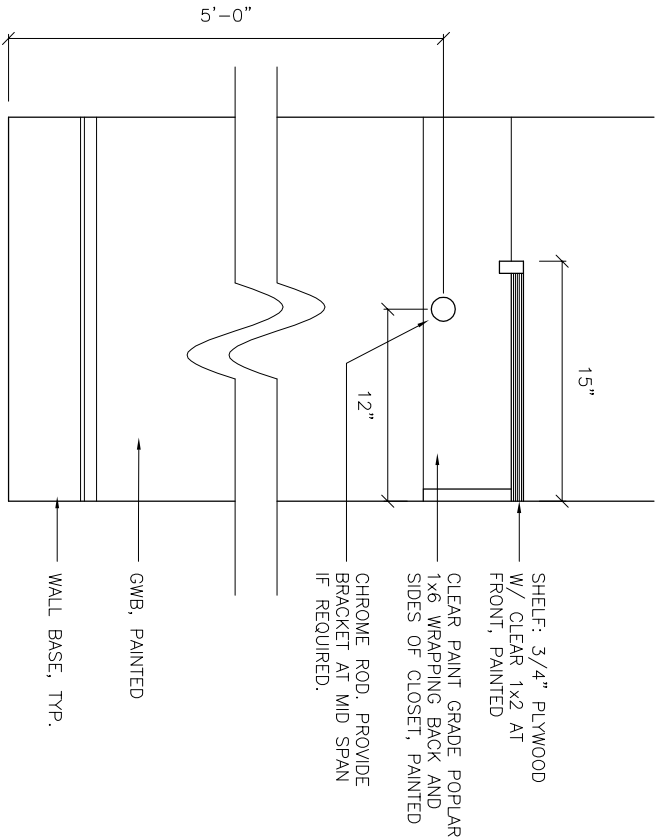
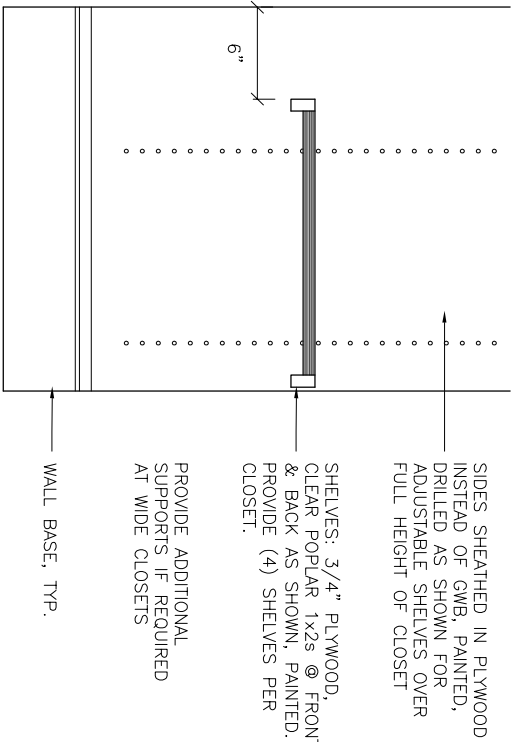
Wall Assembly B

Wall Assembly C

Wall Assembly D

1 Wall Assembly Details

SCALE: 1" = 1'-0"



2 Adjustable Shelves at Closet Interiors

SCALE: 1" = 1'-0"

3 Closet Shelf & Rod

SCALE: 1" = 1'-0"

4 Exterior Siding Transition

SCALE: 1" = 1'-0"

GILBERT RESIDENCE

112 STOW STREET

ACTON, MA 01720

Details:
Walls & Closets

SCALE: DATE: 5.21.13

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A6.4

<div><div>1</div><div>Interior Casing</div><div>SCALE: 1" = 1'-0"</div></div> <div><p>CAP: BROSCO B662. MITER @ CORNERS & DIE INTO WALLS.</p><p>HEAD: CLEAR 5/4x6 POPLAR. PROJECT 1/4" BEYOND SIDE CASING. MITER ENDS TO CONCEAL END GRAIN.</p><p>SIDES: CLEAR POPLAR 1x4. CLEAR 1x BETWEEN GANGED WINDOWS - SEE INTERIOR ELEVATIONS.</p><p>STOOL: CLEAR PAINT GRADE POPLAR 1x. EXTEND 3/4" AT ENDS AS SHOWN. EXTEND 1" PROUD OF APRON AT FRONT.</p><p>APRON: CLEAR POPLAR 1x3. (ACTUAL WIDTH 2 1/2") MITER ENDS TO CONCEAL END GRAIN.</p></div>	<div><div>2</div><div>Pocket Doors</div><div>SCALE: 1 1/2" = 1'-0"</div></div> <div><p>HANG DOOR SO VISIBLE WIDTHS OF STILES ARE EQUAL WHEN DOOR IS CLOSED</p><p>USE 5/4 STOCK FOR JAMBS. ROUTER A RECESS IN STRIKE SIDE JAMB AS SHOWN.</p><p>PAINT INTERIOR OF HEAD JAMB AND POCKET BLACK</p><p>ACTUAL DOOR PROFILE AND CASING PROFILE NOT SHOWN</p></div>	<div><div>3</div><div>Wall Base</div><div>SCALE: 3" = 1'-0"</div></div> <div><p>BROSCO 8453</p><p>PAINT GRADE POPLAR 1x6 SET ON SUBFLOOR AS SHOWN</p></div>
<div><div>4</div><div>Beaded Board</div><div>SCALE: 1" = 1'-0"</div></div> <div><p>1/2" PLYWOOD SUBSTRATE MOUNTED TO STUDS (FLUSH WITH PLASTER, NOT PROUD)</p><p>FIR BEADED BOARD, PAINTED</p><p>CLEAR POPLAR 5/4x4, RABBETED AS SHOWN</p><p>CLEAR POPLAR 1x. EASE EDGES.</p><p>CLEAR POPLAR 1x8. BEADED BOARD SITS ON TOP, NOT BEHIND.</p><p>TYPICAL BASEBOARD PROUD OF 1x</p></div>	<div><div>5</div><div>Stair stringer / curb</div><div>SCALE: 3" = 1'-0"</div></div> <div><p>BALUSTERS SIT ON TOP OF CURB. RUN NEWEL POSTS INTO FRAMING & BOLT TO FRAMING.</p><p>1x, PAINTED</p><p>BASE CAP, TYP.</p><p>2x4</p><p>TYP WALL BASE DTL: SEE DWG. 3 ABOVE. HEIGHT OF CURB DRIVEN BY HEIGHT OF WALL BASE.</p><p>1x8, PAINTED</p><p>BASE CAP, TYP. (OMIT AT BEADED BOARD AT LOWER RUN OF STAIRS)</p><p>BLUE BOARD W/ SKIM COAT PLASTER (BEADED BOARD AT LOWER RUN OF STAIRS)</p></div>	

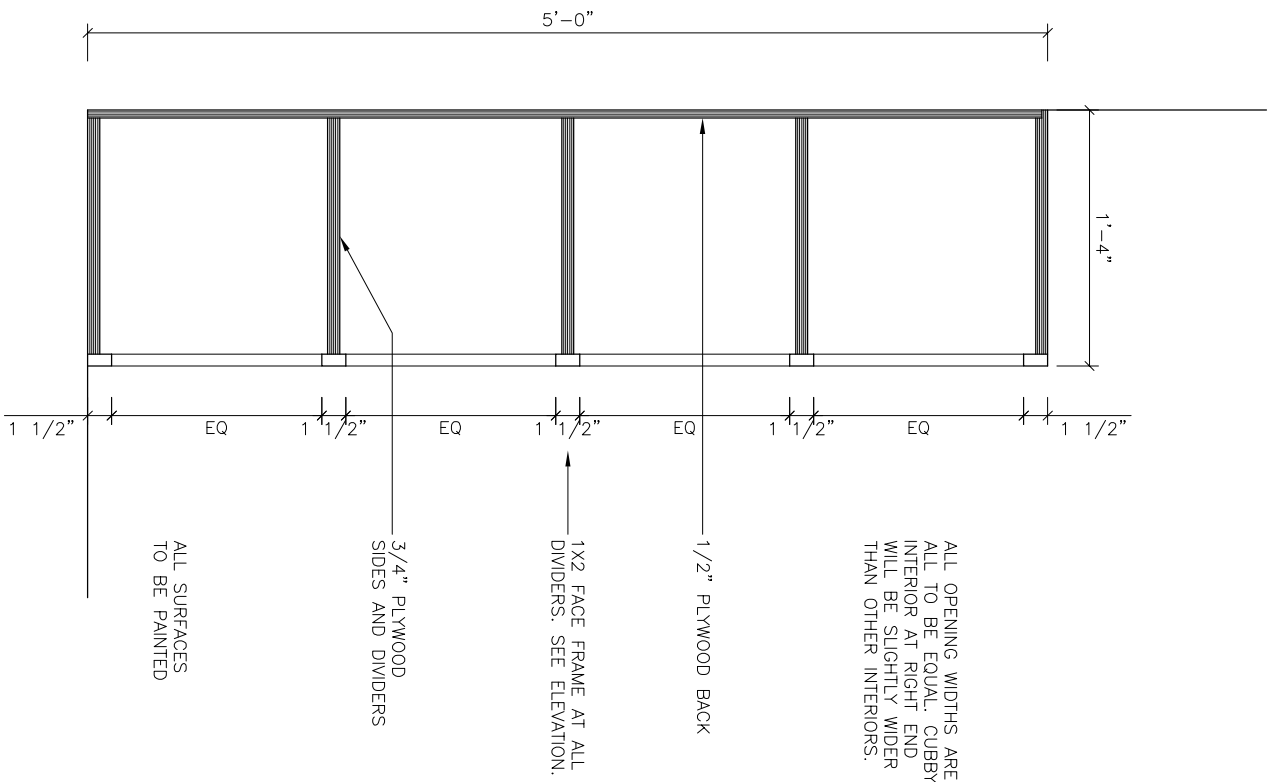
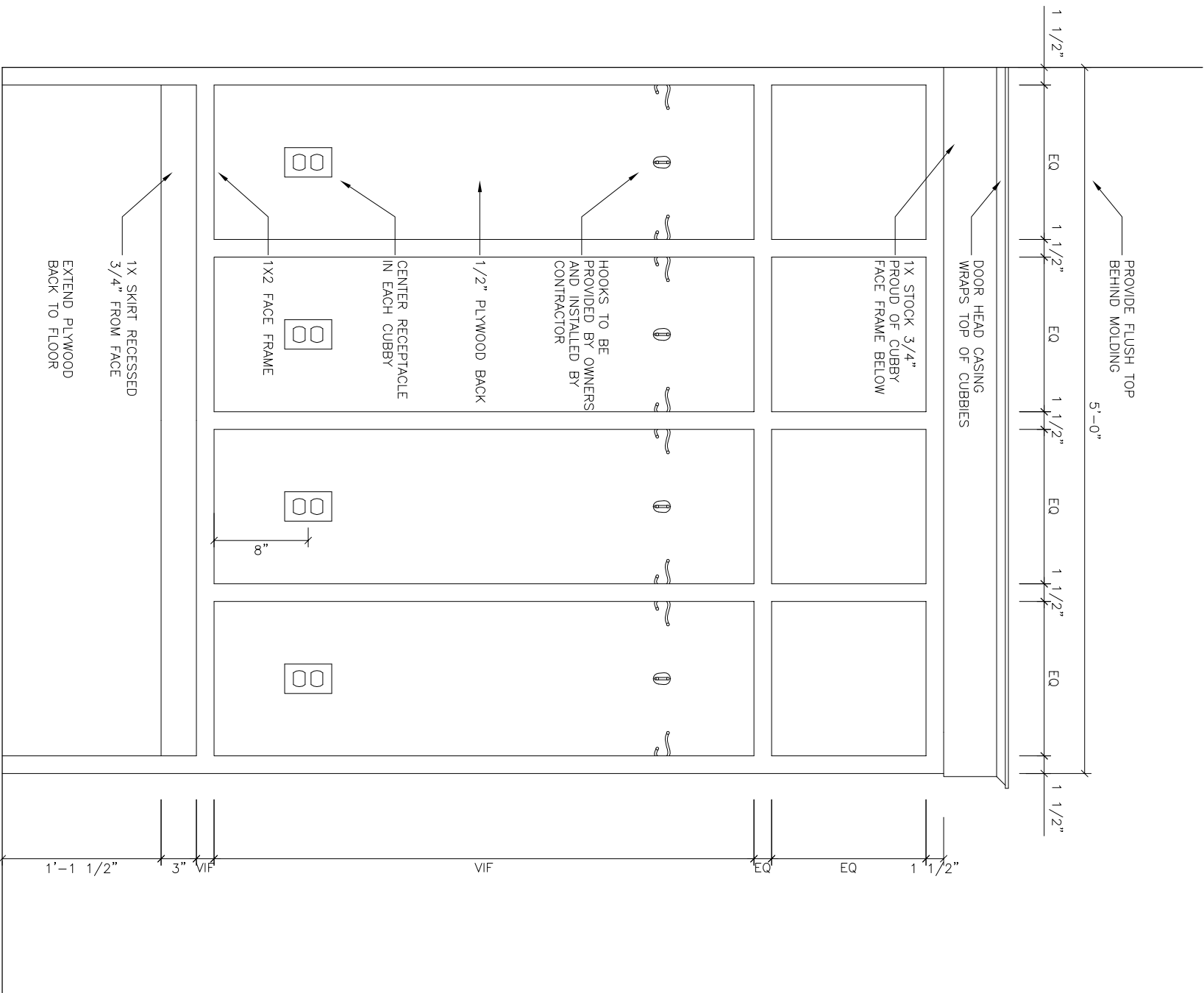
<div>DAVID WHITNEY ARCHITECT 49 LINDEN STREET ARLINGTON, MA 02476 /81 643 0759</div>	<div>GILBERT RESIDENCE 112 STOW STREET ACTON, MA 01720</div>	<div>TITLE: Details: Interior SCALE: AS NOTED DATE: 5.21.13 DRAWN BY: DWW FILE: PLANS SHEET</div>	<div>A6.5</div> <div>© DAVID WHITNEY AIA</div>
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49 LINDEN STREET
ARLINGTON, MA 02476
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GILBERT RESIDENCE
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TITLE:
Details:
Cubbies
SCALE: DATE:
1" = 1'-0" 5.21.13
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DWW PLANS
SHEET

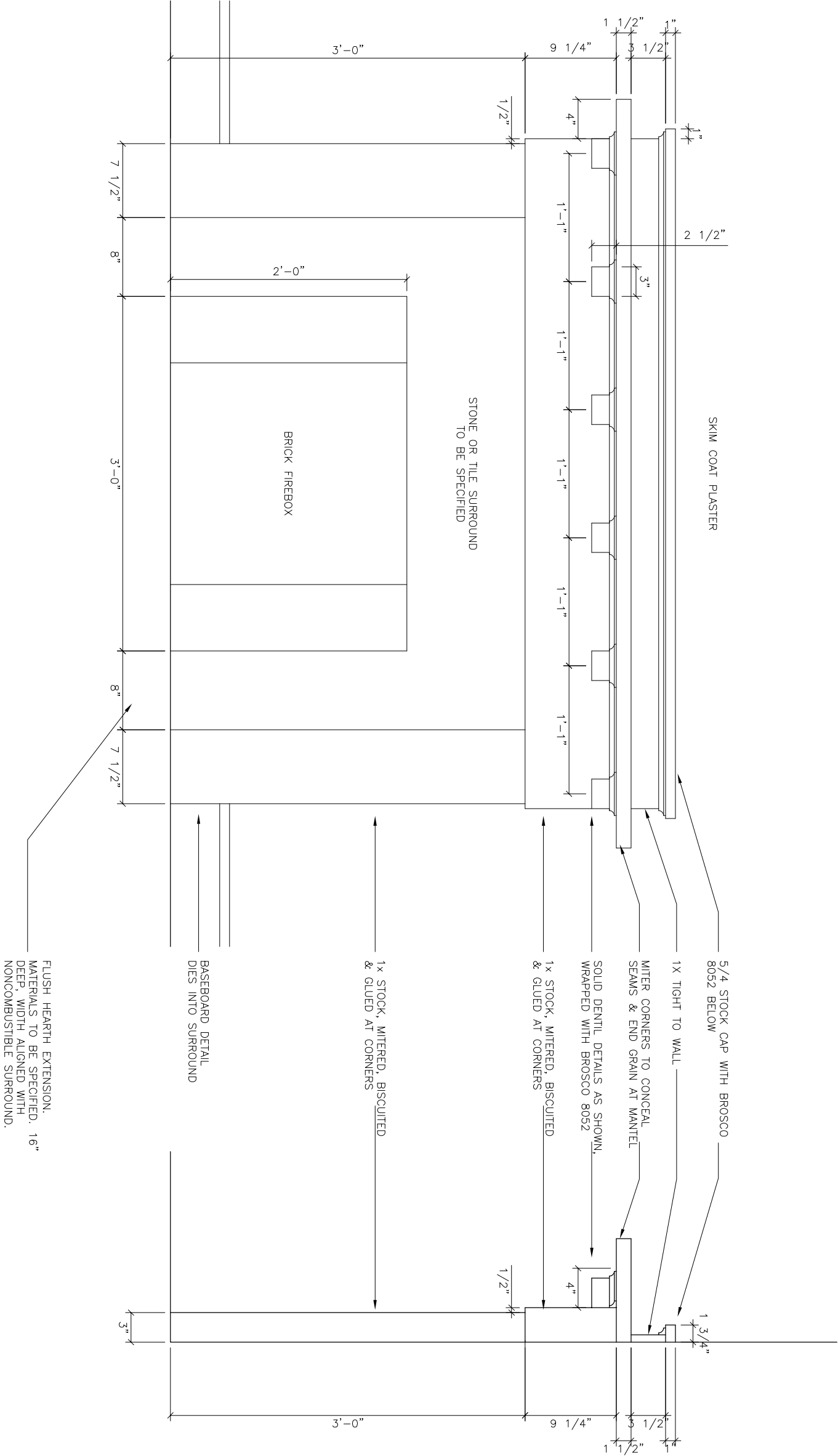
A6.6



Plan

Elevation

ALL SURROUND PARTS, PAINT
GRADE POPLAR, PAINTED



Front View

Side View

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ARCHITECT
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ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:
Details:
Fireplace
SCALE: 1" = 1'-0"
DATE: 5.21.13
DRAWN BY: DW
FILE: PLANS
SHEET

A6.7

GILBERT RESIDENCE
112 STOW STREET
ACTON, MA 01720

TITLE:

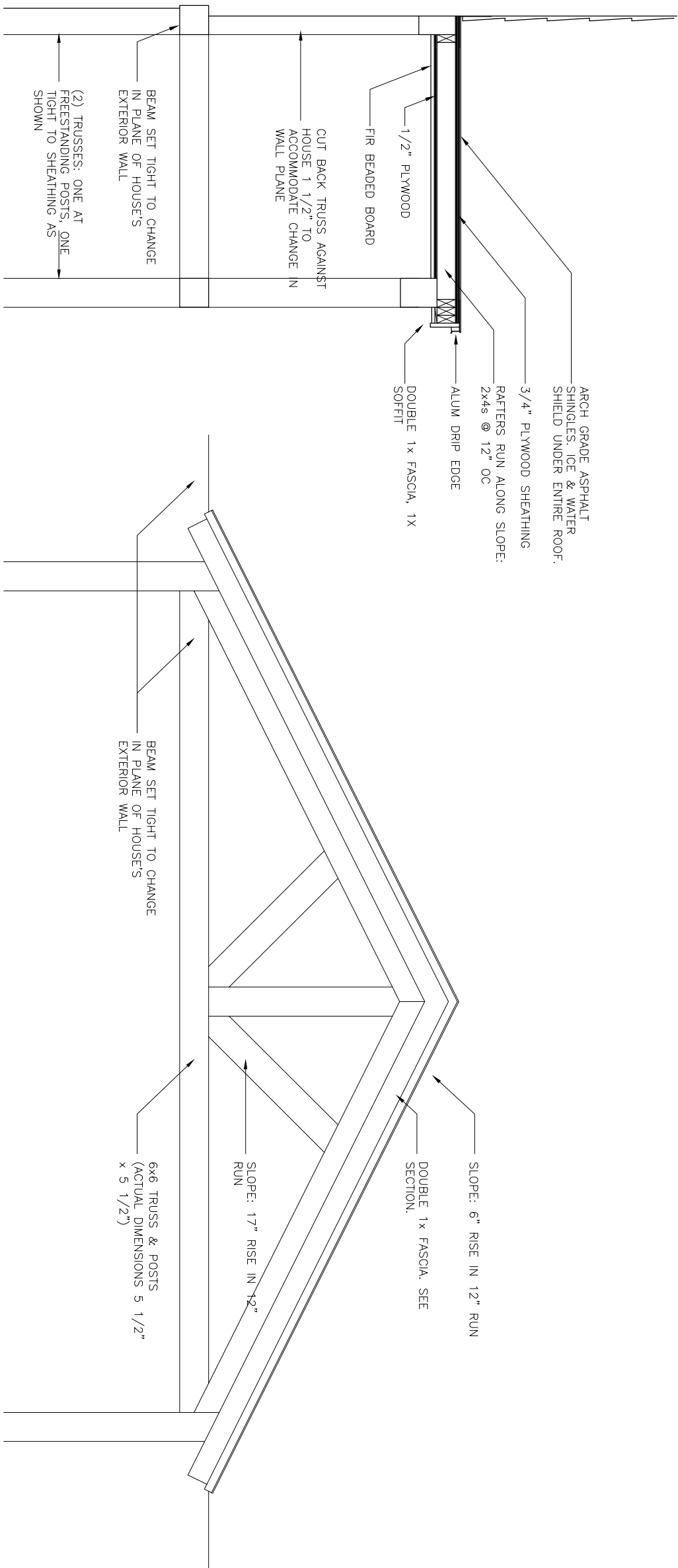
Details:
Entry Canopy

SCALE: DATE:
1/2" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

SHEET

A6.8



Section

Front View

SEE STRUCTURAL NOTES
ON SHEET A0.1

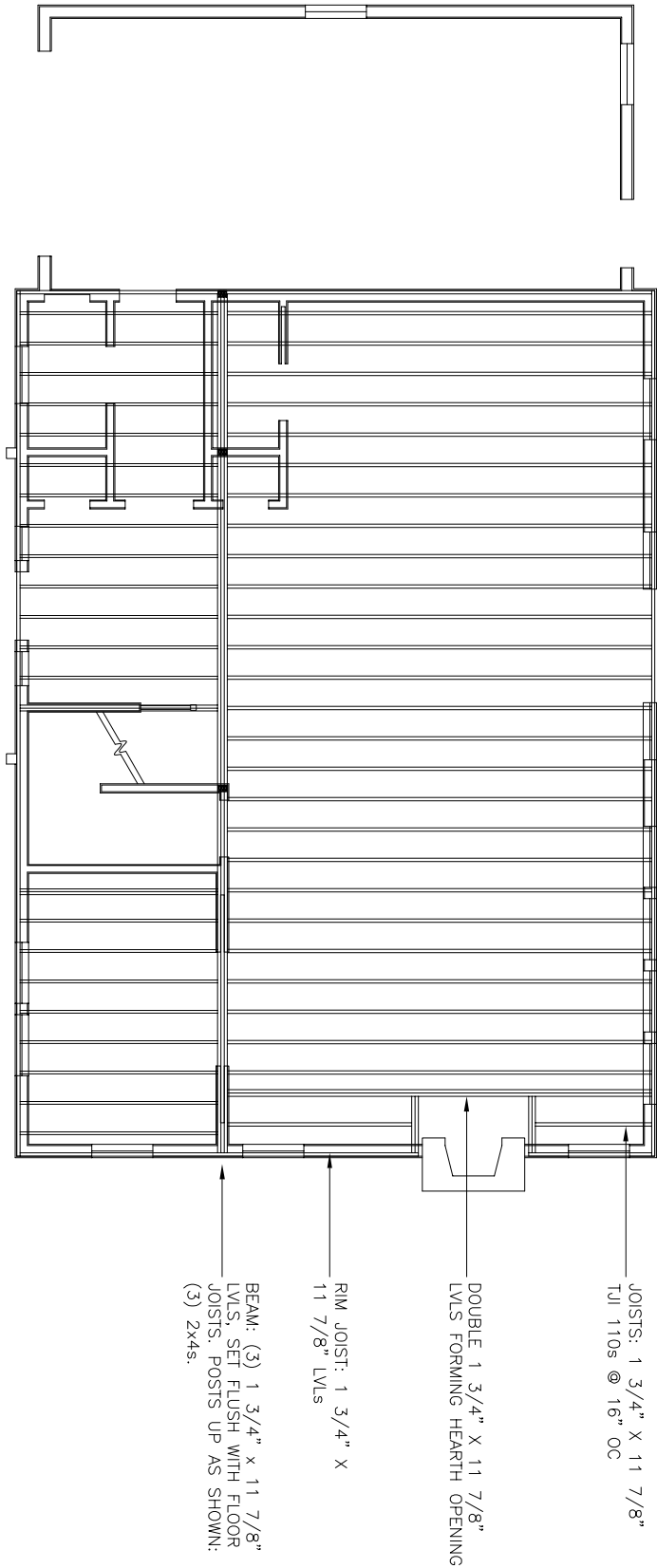
CHECK JOIST LOCATIONS
AGAINST PLUMBING AND
RECESSED LIGHTS

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

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ARCHITECT
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/81 643 0759

LOAD BEARING
WALLS. SEE PLANS
& SHEET A6.1.

PROVIDE (2) 2x6 POST DOWN
& (3) 2x8 HEADER AT EACH
WINDOW & DOOR OPENING (NOT
SHOWN). PROVIDE (2) 2x6s
BETWEEN EACH GANGED
WINDOW.



GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

TITLE:

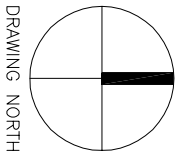
First Floor
Framing Plan

SCALE: 1/8" = 1'-0" DATE: 5.21.13

DRAWN BY: DWW FILE: PLANS

SHEET

S1.1



DRAWING NORTH

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SEE STRUCTURAL NOTES
ON SHEET A0.1

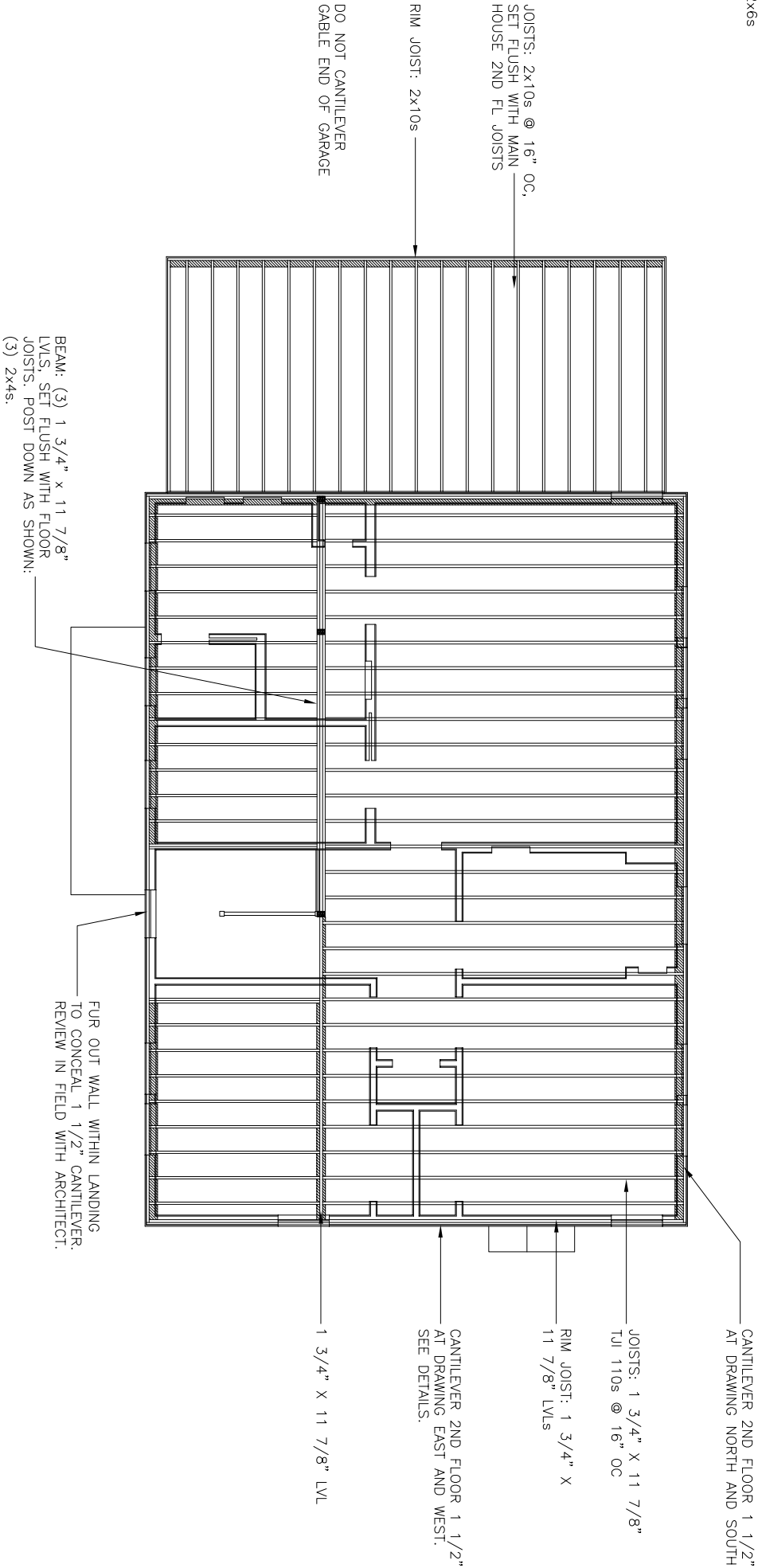
CHECK JOIST LOCATIONS
AGAINST PLUMBING AND
RECESSED LIGHTS

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

LOAD BEARING
WALLS. SEE PLANS
& SHEET A6.1.

PROVIDE (2) 2x6 POST DOWN
& (3) 2x8 HEADER AT EACH
WINDOW & DOOR OPENING (NOT
SHOWN). PROVIDE (2) 2x6s
BETWEEN EACH GANGED
WINDOW.

ATTIC FLOOR JOISTS
IDENTICAL TO SECOND
FLOOR FRAMING PLANS



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ARCHITECT
49 LINDEN STREET
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/81 643 0759

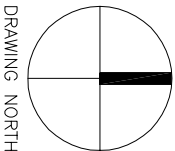
GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

TITLE:
**Second Floor
Framing Plan**
SCALE: 1/8" = 1'-0" DATE: 5.21.13
DRAWN BY: DWW FILE: PLANS

SHEET

S1.2



DRAWING NORTH

SEE STRUCTURAL NOTES
ON SHEET A0.1

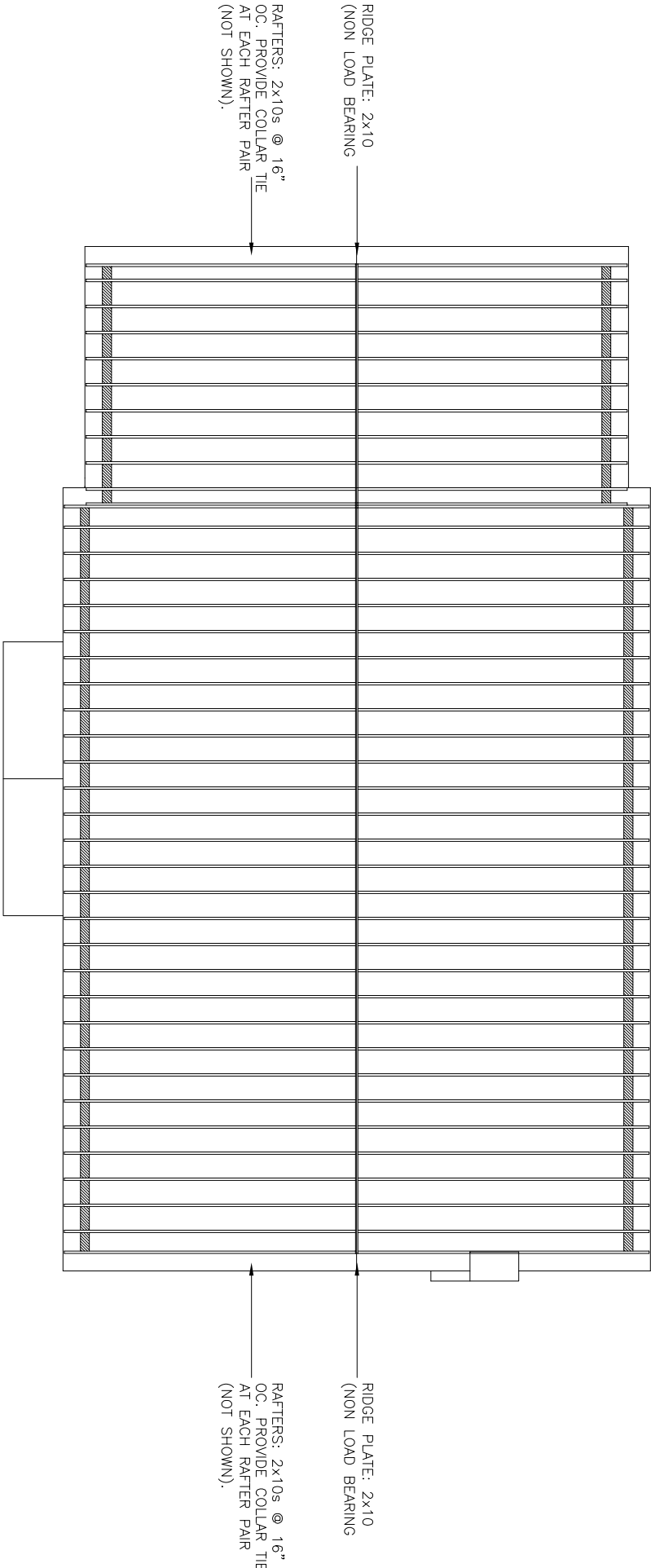
CHECK JOIST LOCATIONS
AGAINST PLUMBING AND
RECESSED LIGHTS

SEE WINDOW SCHEDULE
FOR INSTALLATION HEIGHTS

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/81 643 0759

LOAD BEARING
WALLS. SEE PLANS
& SHEET A6.1.



GILBERT RESIDENCE

112 STOW STREET
ACTON, MA 01720

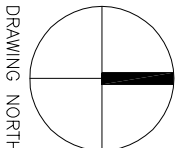
TITLE:

Roof Framing Plan

SCALE: DATE:
1/8" = 1'-0" 5.21.13
DRAWN BY: FILE:
DWW PLANS

SHEET






















S1.3



ELECTRICAL NOTES

1. PROVIDE HARDWIRED SMOKE DETECTION SYSTEM AS REQUIRED BY ALL APPLICABLE CODES. PUT SMOKE DETECTORS ON A DEDICATED & CLEARLY LABELED CIRCUIT. REVIEW LOCATION OF DETECTORS WITH ARCHITECT PRIOR TO INSTALLATION.
2. PROVIDE RECESSED WATERPROOF RECEPTACLES WITH COVERS BY ARLINGTON INDUSTRIES OR APPROVED EQUAL AT ALL EXTERIOR LOCATIONS.
3. PROVIDE GFI RECEPTACLES AT ALL LOCATIONS REQUIRED BY CODE. WHITE BUTTONS.
4. PROVIDE INSULATED JUNCTION BOXES AT ALL EXTERIOR WALLS.
5. ALL SWITCHES, RECEPTACLES, AND COVER PLATES WHITE. TRADITIONAL STYLE, NOT DECORA (EXCEPT GFI). DIMMER SWITCHES LUTRON ARIADNI.
6. AT GANGED SWITCHES, POSITION SWITCHES IN SEQUENCES SHOWN IN DRAWINGS.
7. PROVIDE POWER FOR ALL KITCHEN APPLANCES AS REQUIRED, AS SHOWN IN PLAN AND INTERIOR ELEVATIONS. ALL REQUIRED POWER MAY NOT BE SHOWN IN ELEC PLAN.
8. PROVIDE NEW 200 AMP SERVICE.
9. PROVIDE LOW VOLTAGE PANEL IN BASEMENT FOR LOW VOLTAGE CONNECTIONS: TELEPHONE, CABLE, ETC.
10. CONDUIT: PROVIDE EMPTY 2" CONDUIT FROM BASEMENT TO ATTIC FOR POSSIBLE FUTURE USE. LOCATE & REVIEW IN FIELD WITH ARCHITECT & OWNERS.
11. PROVIDE SOLID STOCK FLASHED MOUNTING BLOCKS FOR ALL EXTERIOR LIGHTS. REVIEW IN FIELD WITH ARCHITECT.

ELECTRICAL LEGENDS

	DUPLEX RECEPTACLE		TELEPHONE RECEPTACLE: CAT 6E CABLE, HOME RUN TO LOW VOLTAGE PANEL IN BASEMENT.
	QUAD RECEPTACLE		CABLE TV RECEPTACLE. HOME RUN TO LOW VOLTAGE PANEL IN BASEMENT.
	SWITCH		DOOR BELL CHIME TO BE SPECIFIED
	3 WAY SWITCH		
	DIMMER SWITCH: LUTRON ARIADNI		DOOR BELL BUTTON TO BE SPECIFIED FINISH TO MATCH DOOR HARDWARE
	EXHAUST FAN / LIGHT: PANASONIC FV-08VRL1. PROVIDE SEPARATE SWITCHES FOR LIGHT AND FAN. REVIEW DUCT RUNS AND EXTERIOR VENT LOCATIONS IN FIELD WITH ARCHITECT.		CEILING FAN / LIGHT TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
	RECESSED FIXTURE HALO H991CT HOUSING HALO 993 WHITE BAFFLE & TRIM RING 4" APERTURE. USE IC ROUGH-IN BOXES AT ALL LOCATIONS.		CEILING FAN / LIGHT CONTROLS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
	SURFACE MOUNTED FIXTURE: TO BE PROVIDED BY OWNER & INSTALLED BY CONTRACTOR.		GARAGE DOOR OPENER SUBMITTAL REQUIRED
	CLOSET LIGHT COMPACT FLUORESCENT SUBMITTAL REQUIRED		GARAGE DOOR BUTTON SUBMITTAL REQUIRED
	UNDER CABINET XENON LIGHT FIXTURE SEAGULL LIGHTING MODELS 98018-15 TO 98020-15 (LENGTHS VARY)		MOTION DETECTOR
	A-TYPE BULB IN PORCELAIN SOCKET		
	FLUORESCENT UTILITY LIGHT SUBMITTAL REQUIRED		THESE ARE STANDARDIZED ELECTRIC LEGENDS FOR GENERAL USE. ALL ITEMS MAY NOT APPEAR IN THIS PROJECT.

GILBERT RESIDENCE
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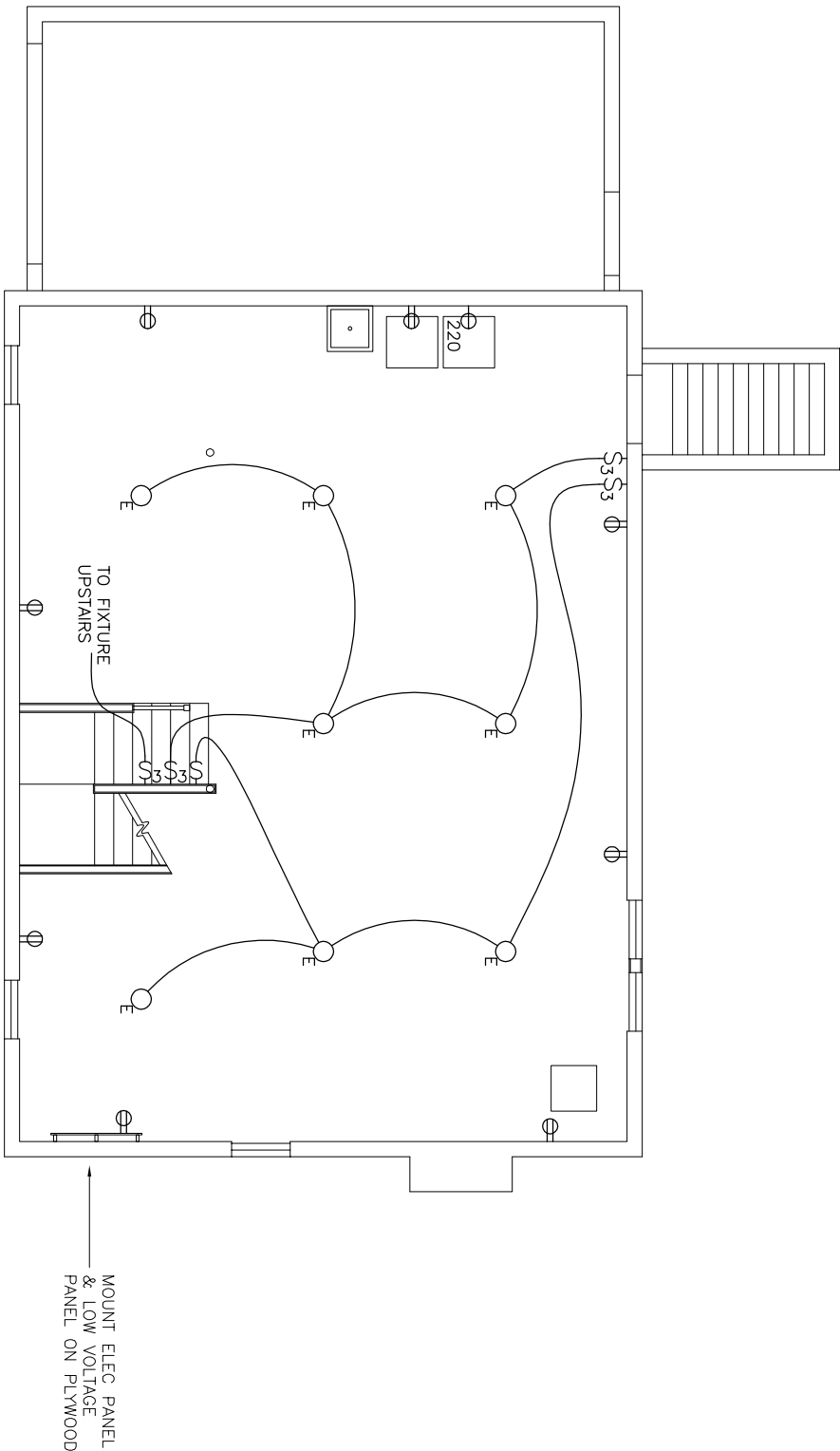
TITLE: Electric
Notes & Legends

SCALE: AS NOTED
DATE: 5.21.13
DRAWN BY: DWW
FILE: PLANS

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E0.1

SEE ELECTRIC NOTES AND
LEGEND ON SHEET EQ.1



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
/81 643 0759

GILBERT RESIDENCE

112 STOW STREET
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TITLE:

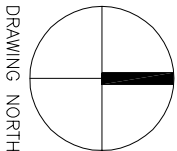
Basement
Electric Plan

SCALE: DATE:
1/8" = 1'-0" 5.21.13

DRAWN BY: FILE:
DWW PLANS

SHEET

E1.0



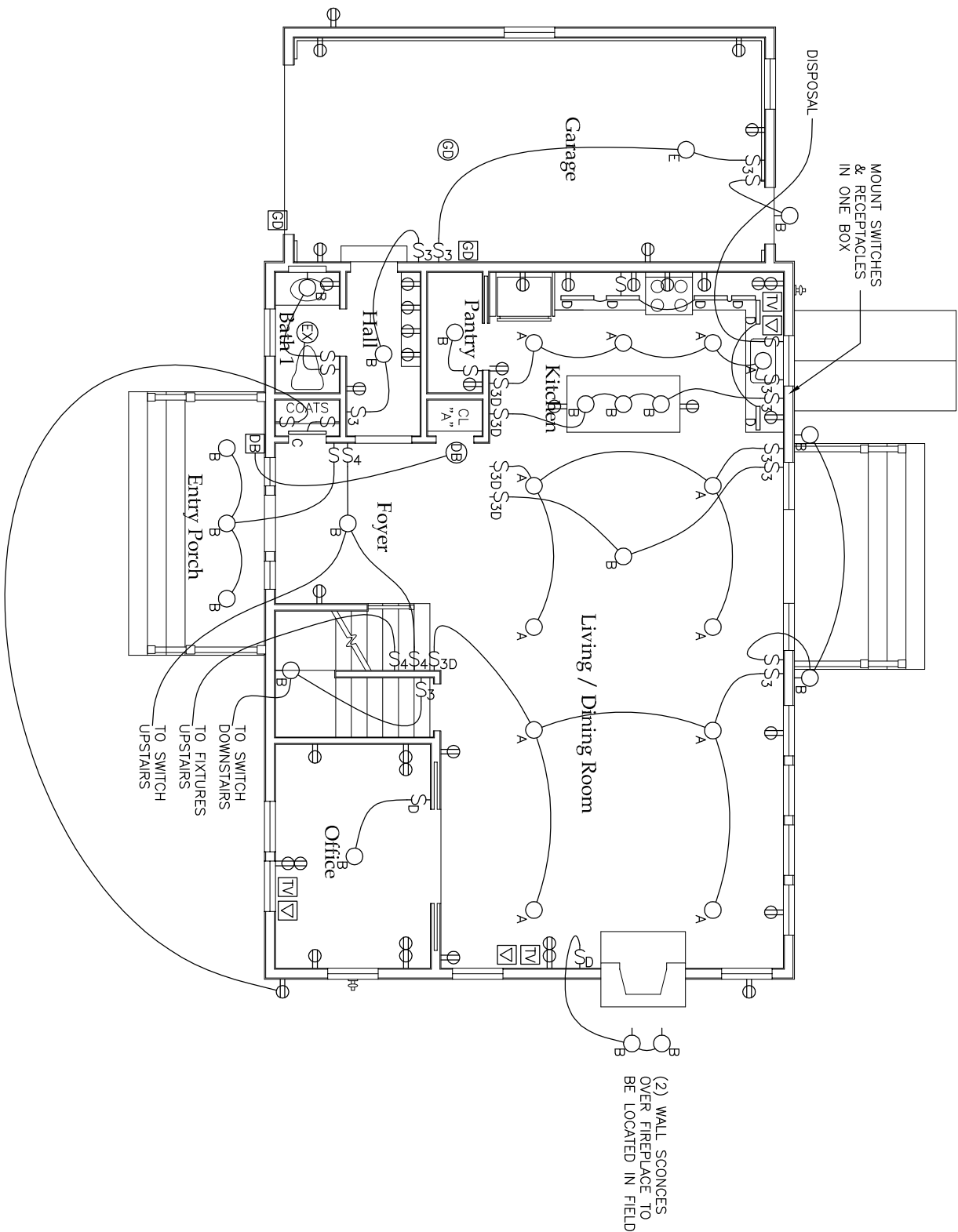
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LEGEND ON SHEET E0.1

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(2) WALL SCONCES
OVER FIREPLACE TO
BE LOCATED IN FIELD

TITLE:

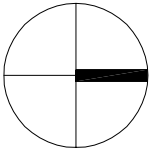
First Floor Electric Plan

SCALE: 1/8" = 1'-0" DATE: 5.21.13

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TITLE:
Second Floor
Electric Plan
SCALE: 1/8" = 1'-0" DATE: 5.21.13
DRAWN BY: DWW FILE: PLANS

SHEET

E1.2

